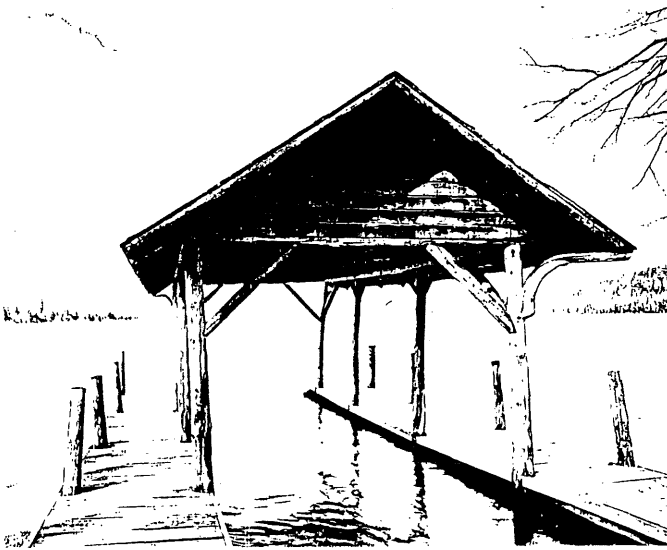




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TETTEGOUCHE CAMP

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HISTORIC STRUCTURES REPORT and HISTORIC AMERICAN BUILDINGS SURVEY DOCUMENTATION

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1989

ultant's Report prepared for the
by MacDonald & Mack Partnership

Pursuant to 1988 Laws, Chap 686
- Article 1, section 11(h)
Final Report

HISTORIC STRUCTURES REPORT
and
HISTORIC AMERICAN BUILDINGS SURVEY
DOCUMENTATION
for

TETTEGOUCHE CAMP HISTORIC DISTRICT
Tettegouche State Park
Lake County, Minnesota

prepared for:

State of Minnesota
Department of Natural Resources
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August 1989



INTRODUCTION

INTRODUCTION

In January of 1989 the MacDonald and Mack Partnership and its consultants were contracted by the State of Minnesota Department of Natural Resources to architecturally investigate and document selected buildings of the Tettegouche Camp Historic District at Tettegouche State Park in accordance with standards established by the Historic American Buildings Survey (HABS). The Camp is listed in the National Register of Historic Places. Located approximately 60 miles northeast of Duluth in Lake County along Minnesota's Lake Superior shore, Tettegouche Camp was built beginning ca. 1911 by the Tettegouche Club, a private group of Duluth businessmen and sportsmen, and is comprised of 16 surviving structures.

Prior to beginning the study, the sixteen structures were generally evaluated and grouped by the Department of Natural Resources into the following three categories in descending order of significance, suitability for reuse, and level of inventory effort required:

CATEGORY ONE: Structures in Category One were predetermined to possess high historic value and high potential for reuse. The subject of intensive physical survey, analysis, and documentation in the following Historic Structures Report, Category One structures include:

- Main Lodge
- Breezeway
- Kitchen/Dining Hall
- Cabin A
- Cabin B

CATEGORY TWO: Structures in Category Two were judged beforehand to possess historic value and reuse potential. Documented to HABS Level III in Appendix E, Category Two structures include:

- Cabin C
- Barn
- Garage
- Outhouse
- Filers' Shack

CATEGORY THREE: Structures in Category Three were deemed to be of limited value and reuse potential. Documented to HABS Level IV in Appendix F, Category Three structures include:

- Boat Shelter
- Root Cellar
- Sauna
- Cabin D
- Bath House
- Dog House

In preparation for on-site survey work at Tettegouche Camp, the MacDonald and Mack Partnership met with Department of Natural Resources personnel in January 1989 in Saint Paul to review and gather all available written and pictorial documentation from Department files pertinent to the original construction and evolution of the Camp. Additional useful materials were collected at Tettegouche State Park. Documentary research files compiled by the State Historic Preservation Office of the Minnesota Historical Society unfortunately contained no new information.

With the exception of a few recent historic photographs and, most notably, a ca. 1911 site plan depicting initial Camp development, available materials were based on undocumented secondary sources and were repetitive.

Consequently, limited original historical research (although not within the scope of this study) was undertaken to supplement this meager collection. Research included telephone inquiries to the Saint Louis County Historical Society and the Northeast Minnesota Historical Center at the University of Minnesota, Duluth; examination of Duluth and Beaver Bay newspaper collections at the Minnesota Historical Society; and personal interviews with John deLaittre, former owner of the property, and Maria Ostman, former housekeeper to Clement K. Quinn who owned Tettegouche for 50 years. Only the interviews were productive. Both Mr. deLaittre and Ms. Ostman provided valuable construction information and access to historic photographs of Tettegouche Camp.

Based on these documentary resources, Paula Merrigan and Stuart MacDonald of the MacDonald and Mack Partnership began on-site physical investigations at Tettegouche Camp in April 1989, snow conditions having forced cancellation of potential visits in January, February, and March. Unfortunately, adverse weather continued into April. Snow depths of up to eight feet at building perimeters made nearly impossible all attempts to inventory, measure, and photograph so the April effort was abandoned. On-site work resumed 16 May 1989 under favorable weather and ran through June and July. The surveyors, consulting structural engineer Elmer Kopp, and photographer Burt Levy documented the physical condition and provenance of Tettegouche Camp buildings by means of field sketches, measurements, descriptive notes, and large- and 35-mm-format photography. All on-site work was conducted by observation without removing building fabric.

The history of Tettegouche Camp and its construction; the condition of its Category One buildings and their recommended restoration and repair; and construction cost estimates are presented in the following Historic Structures Report supplemented by comprehensive illustrations and appended survey data and Category Two and Three building documentation. The authors are Paula Merrigan and Stuart MacDonald.

Special thanks are due to archeologists Dave Radford and Doug George of the Department of Natural Resources, who assisted with all aspects of the study from initial historical research to field survey in the snow. Foster Hudson, Tettegouche State Park Manager, and Assistant Manager Mike Hoops helped with access to the Camp during extremely adverse weather conditions. And Harrison Goodall of Conservation Services, Kinnelon, New Jersey provided valuable guidance in the realm of log restoration.

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THE TETEAGOUCHE CLUB
LAKE COUNTY MINN.



BRIEF HISTORY
of the
PROPERTY

BRIEF HISTORY OF THE PROPERTY

Situated about 60 miles northeast of Duluth in northern Minnesota's Lake County, the Tettegouche Camp is an uninhabited compound of 15 structures set along the western shore of Mic Mac Lake. Although the buildings and the grounds are now just minimally maintained, the Tettegouche Camp has been hailed as "the crown jewel" among Minnesota's wilderness resources.¹

Tettegouche, said to mean "retreat," and the other Algonquin Indian names gracing area lakes are a legacy of Alger Smith and Company, a lumber firm who logged the area in the late 19th and early 20th centuries and brought the names with them from their founder's home in New Brunswick, Canada.²

The history of Tettegouche Camp began when Alger Smith and Company, adding to their already vast timber holdings in northeastern Minnesota, purchased the area around the present site of the camp. In opening up large sections of Lake County to harvest virgin stands of white and Norway pine, the Michigan-based company built 152 miles of railroad to transport logs to their mills, including several spur lines and tracks along the north shore of Lake Superior. A logging camp established ca.1895 near the east shore of Nipisiquit Lake housed the company's resettled lumberjacks and heavy equipment until the company completed its logging operation and moved out of the area in 1905.³ The creation of the Tettegouche Club soon followed, coinciding with the development of northern Minnesota's resort industry.

The first three decades of the twentieth century saw northern Minnesota's scenic woodland-and-lake region develop a national reputation as a vacation area, attracting numerous commercial resorts, hunting lodges and private summer homes. Founded ca. 1910 as a private recreational club by a group of about fifteen men from Duluth, the membership of the Tettegouche Club sought to promote conservation while allowing controlled recreational activities.⁴

The club's initial activity was the purchase of one thousand acres of cutover land from Alger Smith and Company. Located between Mic Mac and Tettegouche Lakes, the remote terrain of the Tettegouche Camp gave members an opportunity to fully explore the natural and scenic attractions of the region, while a policy prohibiting hunting on the premises conformed with the membership's conservation philosophy. Developing the Tettegouche site was the club's next significant venture. Members dug a well and constructed several permanent log buildings including a Lodge (Main Lodge), Mess Building (Kitchen/Dining Hall), Cottage (Cabin A), Boat House (Boat Shelter), and a Root Cellar. Also built, but since demolished, were an Ice House and a Shop.⁵ During that same period, a log Barn and a Filers' Shack are thought to have been moved to the camp from the site of the Alger Smith and Company Logging Camp formerly located on neighboring Nipisiquit Lake.⁶

Due in part to the first World War the Tettegouche Club disbanded and in 1921 sold its property to one of its members, Clement K. Quinn.⁷ During his fifty years of ownership Quinn, a Duluth iron ore merchant, continued to uphold the traditions and values of his bygone club. His judicious purchase of hundreds of additional acres protected the inner core of lakes and hills at the heart of the camp. Quinn, who actively built throughout his tenure, began building

in 1925 when he increased the number of log and frame structures on the property by constructing a sleeping cabin (Cabin B), a Garage, an Outhouse, and a Breezeway between the original Lodge and Mess Building. Compatibly styled frame and log-sided structures built in the 1950's included one sleeping cabin (Cabin C), a Bath House, and a Dog House. In the 1960's another log-sided frame cabin (Cabin D) was built.⁸

In 1971, at the age of eighty-five, Quinn sold the property to John deLaittre, descendant of one of Minnesota's pioneer lumbering families. deLaittre continued the heritage of conservation and the style of building that characterized Tettegouche Camp, adding a log-sided Sauna to the property in 1972.⁹

As early as 1962, efforts had been underway to acquire the Tettegouche Camp as part of a major state park. Efforts intensified when the Department of Natural Resources became aware of deLaittre's desire to sell through an advertisement appearing in the real estate column of the 11 July 1975 " Wall Street Journal."¹⁰ By late 1975 the DNR had drafted legislation to establish "Tettegouche State Park," but introduction of the bill was blocked by North Shore residents who opposed the increase in public land holdings on the basis that it both limited options for private homes and diminished the county tax roll.

The controversy quieted until 1978, when the Nature Conservancy, a national preservation organization, negotiated a one year purchase option on 3400 acres of the property. The purpose of the option was to allow enough time for the development of a management plan to preserve Tettegouche Camp as a wilderness

retreat. It also provided impetus for the re-introduction of legislation authorizing the establishment of "Tettegouche State Park." In 1979 Tettegouche State Park finally was established, and in June of that year the State Commissioner of Natural Resources signed an order purchasing 3400 acres of private land including the Tettegouche Camp. Negotiation with local concerns and approval by the state legislature had spanned seventeen years.

The importance of the Tettegouche Camp as a representation of northern Minnesota's vital turn-of-the-century resort industry, and as an illustration of the rustic log architecture popular in such resort areas, was recently recognized by its 1988 designation as an historic district on the National Register of Historic Places.

Notes

1. This phrase is attributed to Geoffrey S. Barnard, Regional Vice President of the Nature Conservancy, and was quoted in the frontispiece of John deLaittre's privately published brochure entitled "Tettegouche."
2. Koop, Michael. National Register of Historic Places Registration Form. June 1988.
3. Koop, Michael. National Register of Historic Places Registration Form. June 1988.
4. Koop, Michael. National Register of Historic Places Registration Form. June 1988.
5. A map of Teteagouche Club Camp on file at the Minnesota Department of Natural Resources in Saint Paul, Minnesota indicates structures built on the site ca. 1911. The Mess Building (Kitchen/Dining Hall), however may have predated the other first era structures as evidenced by: (a) the additive nature of the building - ie: the Kitchen was constructed after the Dining Hall; (b) the unique quality of log work with exposed, first floor interior log walls adzed smooth; and (c) the general proportion and scale of the Dining Hall structure and its original fenestration.
6. Koop, Michael. National Register of Historic Places Registration Form. June 1988.
7. Duluth News-Tribune. February 11, 1979.
8. Koop, Michael. National Register of Historic Places Registration Form. June 1988.
9. MacDonald, Stuart. Interview with Foster Hudson, Tettegouche State Park Manager. May 18, 1989.
10. Jim Peterson's Outdoor News. December 19, 1975.



ORIGINAL
CONSTRUCTION HISTORY

ORIGINAL CONSTRUCTION HISTORY

Construction Chronology of the Tettegouche Camp *

- ca. 1911 Membership of the Tettegouche Club builds the Lodge (Main Lodge), Mess Building (Kitchen/Dining Hall)¹, Cottage (Cabin A), Boat House (Boat Shelter), and the Root Cellar. A Shop and Ice House, both since demolished, were also built. A well was dug on the site.²
- The Barn and the Coup (Filers' Shack) are believed to have been moved to the Tettegouche Camp from the abandoned Nipisiquit Lake site of the Alger Smith and Company logging camp.³
- ca. 1925 Cabin B, a Garage, an Outhouse, and a Breezeway connecting the Lodge and the Mess Building were constructed.
- ca. 1950 The Bath House and the Dog House were built.
- 1952 Cabin C was constructed by Edwin Nikula. Additional work was done in the late 50's by Dale Nikula.⁴
- ca. 1960 Cabin D was built.
- ca. 1972 The Sauna on the shore of Mic Mac Lake was built by Gary Thompson.⁵

*As original documentary research was not within the scope of this study, research was generally confined to a summary of available histories and materials. The majority of available historical data is based on repetitive undocumented secondary sources. It is recommended that original documentary research be conducted in support of future restoration and interpretation efforts at Tettegouche Camp.

Notes

1. The Mess Building may have pre-dated the other first era camp structures (see Brief History of Property section).
2. Map of Teteagouche Club Camp. Ca. 1911. Minnesota Department of Natural Resources Files. Saint Paul, Minnesota.
3. Koop, Michael. National Register of Historic Places Registration Form. June 1988.
4. MacDonald, Stuart. Interview with Maria Ostman, former housekeeper for Clement K. Quinn. May 18, 1989.
5. MacDonald, Stuart. Interview with Foster Hudson, State Park Manager. May 18, 1989.



PHYSICAL EVOLUTION
of the
STRUCTURES

PHYSICAL EVOLUTION OF THE STRUCTURES

Documentary evidence regarding the physical evolution of Category One structures is limited to interviews conducted with John deLaittre and Clement Quinn's former housekeeper, Maria Ostman and historic photos in their possession. Few actual dates are indicated as the bulk of the information contained in this section is based on physical evidence gathered during several on-site investigations.

Main Lodge

Exterior

Roof: Original wood shingles of the east-facing gable and porch roofs have been replaced with composition shingles. Note that wood shingling survives at the west-facing gable.

Source: Physical evidence.

Porch: The original, open, platform-post-and-roof porch has been altered and enclosed with low log siding and screening. Original Main Lodge log crowns have been cut off and porch roof rafters replaced to accommodate porch modifications.

Source: Historic photograph (see Photo H1) and physical evidence.

Windows: Original windows flanking the front door (perhaps paired single-hung windows each side) have been replaced on each side by paired casement units over a horizontal fixed sash.

Source: Physical evidence.

Interior

Partitions: Original, transverse, horizontal and palisaded log partitions have been removed, partially to the south and completely to the north. Original partition doors featured sunburst-patterned log transoms.

Source: Historic photograph (see Photo H5) and physical evidence.

Loft: An original Loft supported by the north transverse partition has been removed.

Source: Interview with Maria Ostman.

Utilities: An oil-fired unit heater with exterior tank was added to supplement the original fireplace. Electrical power from a public source and exterior water supply from a newly drilled well were furnished to the Main Lodge in the early 1970's. Installation of radiant heating panels provided additional heating.

Source: "Appraisal of Tettegouche Property," dated February 1, 1975.

Breezeway

Exterior

Roof: A second layer of wood shingling has been added to the surviving original.

Source: Physical evidence.

Utilities: Electrical power from a public source was introduced to the Breezeway in the early 1970's.

Source: "Appraisal of Tettegouche Property," dated February 1, 1975.

Kitchen/Dining Hall

Exterior

Configuration: The Kitchen has been added to the Dining Hall construction (possibly prior to ca. 1911) as evidenced by butted log work and the survival of original Dining Hall roof and window fabric beneath Kitchen construction.

Source: Physical evidence.

Roof: A second layer of wood shingling has been added to the surviving original at the Dining Hall roof.

Original wood shingles of the Kitchen roof have been replaced with composition shingles.

Source: Physical evidence.

Chimneys: An original brick chimney has been removed at the Dining Hall's south roof slope.

A brick chimney has been added at the Kitchen's north wall.

Source: Historic photograph (see Photo H9) and physical evidence.

Porch: An entry platform with "rustic" rail has been removed at the Kitchen/Dining Hall's west entrance.

Source: Historic photograph (see Photo H11).

Windows: The 5 single-hung, lower level windows of the Dining Hall's south wall appear to have been added (possibly in ca. 1911).

Source: Physical evidence.

Doors: The original exterior Kitchen door has been replaced.

Source: Physical evidence.

Interior

Structure: The Kitchen roof framing has been reinforced with 2x4s.

Source: Physical evidence.

Stairs: A central Dining Hall stair to the second floor level has been removed (possibly in ca. 1911) as evidenced at framing and flooring.

Source: Physical evidence.

Partitions: Center hall partitions and doors at the Dining Hall's second floor level have been removed (possibly in ca. 1911) as evidenced at second floor flooring.

Source: Physical evidence.

Kitchen: An earlier kitchen was remodeled into a commercial facility at the lower level of the Kitchen in the 1980s during occupancy by the Minnesota Conservation Corps. Exposed log walls were covered with gypsum wallboard; log ceiling joists with a suspended ceiling system.

Source: Historic photograph (see Photo H13) and interview with Foster Hudson.

Utilities: Electrical power from a public source and water from a newly drilled well were both supplied to the Dining Hall/Kitchen in the early 1970's. Installation of radiant heating panels; a 72-gallon-capacity water heater; and second floor lavatory and ball-and-claw-foot bathtub provided additional heating and hot-and-cold running water.

Source: "Appraisal of Tettegouche Property," dated February 1, 1975.

Cabin A

Exterior

Foundation: Original foundations have been replaced with a shallow, continuous poured concrete footing at the west exterior wall and shallow, poured concrete pad footings at building corners. This work occurred during John deLaittre's ownership.

Source: Interview with John deLaittre and physical evidence.

Roof: Original wood shingles have been replaced with composition shingles; at the porch roof, the wood shingles survive beneath the composition.

Source: Physical evidence.

Porch: The original porch configuration has been replaced. Original log crowns of the cabin have been cut off and porch roof rafters replaced to accommodate the present full-width porch with screening above low log siding.

The exterior log wall of the cabin covered by the porch has been clad with log siding, probably when the porch was replaced.

Source: Physical evidence.

Doors: The original north front door has been replaced with a 5-panel, glazed door.

The original south front door opening has been infilled.

Source: Physical evidence.

Outbuilding: The outhouse and associated deck are additions.

Source: Physical evidence.

Interior

Partitions: An original, solid, transverse partition (possibly of board construction) has been replaced by the present log siding and stud partition with door opening. The partition may have been replaced when the south front door opening was infilled. The louvered door is a recent replacement.

Source: Physical evidence.

Flooring: The original flooring may have been replaced.

Source: Physical evidence.

Hearth: A corner brick hearth for a wood stove was added in the north room.

Source: Physical evidence.

Utilities: Electrical power from a public source and water from a newly drilled well were both supplied to Cabin A in the early 1970's. Installation of radiant heating panels; a 15-gallon-capacity water heater; and two lavatories provided additional heating and hot-and-cold running water.

Source: "Appraisal of Tettegouche Property," dated February 1, 1975.

Cabin B

Exterior

- Foundation: Original foundations have been replaced with shallow, poured concrete pad footings. This work occurred during John deLaittre's ownership.
- Source: Interview with John deLaittre and physical evidence.
- Roof: Original roofing has been replaced with composition roll roofing.
- Source: Physical evidence.
- Porch: The original porch configuration may have been replaced. Original log crowns of the cabin have been cut off to accommodate the present full-width porch with screening above low log siding.
- Source: Physical evidence.
- Doors: The original front door has been replaced with a 5-panel, glazed door.
- Source: Physical evidence.
- Outbuilding: The outhouse and associated deck are additions.
- Source: Physical evidence.

Interior

- Structure: Two transverse, turnbuckled cables have been added to tie the front and rear log rafter plates.
- Source: Physical evidence.
- Partitions: An original partition that divided the rear half of the cabin into two separate spaces has been replaced by miscellaneous construction including two closets, lavatory counters, and shelving.
- Source: Physical evidence.
- Hearth: A brick hearth for a wood stove was added in the east room.
- Source: Physical evidence.

Utilities: Electrical power from a public source and water from a newly drilled well were both supplied to Cabin B in the early 1970's. Installation of radiant heating panels; a 15-gallon-capacity water heater; and two lavatories provided additional heating and hot-and-cold running water.

Source: "Appraisal of Tettegouche Property," dated February 1, 1975.



ARCHITECTURAL DESCRIPTIONS
of
EXTERIOR
and
INTERIOR FABRIC

ARCHITECTURAL DESCRIPTIONS OF EXTERIOR AND INTERIOR FABRIC

Main Lodge

The Main Lodge is a large, one story, gable-roofed (12:12 slope) log structure built in a rustic style. Its rectangular plan dimensions approximately 36'0" wide by 24'0" with a 10'0" deep, full-width porch fronting Mic Mac Lake to the east.

Exterior wall construction features both horizontal and palisaded log. A typical eave wall section, bottom to top, consists of log footings (assumed); 7" to 8" diameter, saddle-notched, horizontal logs; a 5'6" palisade of 7" logs; and a double, horizontal log rafter plate topping out at approximately 9'0" above the ground floor. Gable end wall sections are similar with horizontal logs closing the gable. All logs are left in the round, unfinished, with exterior quarter-round mouldings over oakum-filled joints.

Roof framing also is of log with 5" diameter rafters at approximately 3'8" on center, every other one collared with 5" log. Four evenly spaced, 7" to 9" diameter, transverse beams span the Lodge east to west and tie the front and rear rafter plates. The bottom of each outermost beam has been flattened to receive horizontal and palisaded log partitions which, except for a few surviving fragments, are no longer extant. 12" board sheathing and wood shingles, half of which have been replaced by charcoal-color composition shingles, cover the roof.

The shed-roofed (3:12 slope) porch features log posts; replacement composition shingling on 12" board sheathing and 3 1/2" to 4" diameter log rafters at 3'0" on center; and narrow board flooring. It has been enclosed with screening above half-log siding. A five-panel screen door provides access from the north.

Bands of unfinished, six-over-six light, single-hung windows with flower boxes occupy the southwest corner of the Lodge. Paired, six-light, in-swinging casement windows above fixed horizontal sash flank the front entrance to the east. Two single casement units at the north side are similar. The front and rear doors are of unfinished, vertical half-log construction each side with single-light glazing. A large, tapered, fieldstone chimney adjacent to the Breezeway dominates the rear elevation.

At the interior, a centered fieldstone fireplace with raised hearth serves as a focal point for the Lodge's now undivided main space. This single room is open to the gable and features exposed log construction at walls and roof; 3 1/4" wood strip flooring on log joists or sleepers (assumed); and varnished finishes.

Breezeway

Built to connect the Main Lodge and the Kitchen/Dining Hall, the single story, gable-roofed (8:12 slope) Breezeway is constructed of log. Its four-bay, rectangular plan configuration measures approximately 10'0" wide by 29'6" long.

Log construction consists of 6 1/2" to 7" diameter posts; 5" to 6" collar beams; and 3" log rafters at approximately 2'8" on center bearing on full cut, double 2x6 rafter plates. The middle collar beam/rafter assembly supports a log base for a centered rooftop bell and is trussed with 3" log "queen posts." 8" to 16" random width board sheathing and two layers of wood shingles cover the roof.

The Breezeway features a screen and half-log-sided enclosure; 3 1/4" wood strip flooring on wood joists or sleepers (assumed); and five-panel screen doors at each of the two long sides. Excepting the red-painted south screen door, the Breezeway is unfinished.

Kitchen/Dining Hall

Situated west of the Main Lodge, the Kitchen/Dining Hall is a one-and-one-half story, multiple gable-roofed, additive log structure built in a rustic style. The earliest section, the Dining Hall, is rectangular in plan, approximately 20'0" by 25'0". The rectangular Kitchen addition to the north dimensions approximately 14'0" by 25'0". To the east the connected Breezeway provides covered passage to the Lodge.

Exterior wall construction features horizontally-placed, saddle-notched, 7" to 10" diameter logs. All are left in the round, unfinished, with exterior quarter-round mouldings over oakum-filled joints at the Dining Hall; portland-cement-mortar chinking on urethane foam backing at the Kitchen.

Full cut 2x4 rafters and collars at approximately 2'0" on center frame each roof gable. 10" board sheathing and two layers of wood shingles cover the Dining Hall; charcoal-color, composition shingles the Kitchen.

A lower level band of unfinished, six-over-six light, single-hung windows with flower boxes occupy most of the Dining Hall's south side. West wall windows are similar but smaller in scale while east wall and all upper level windows are six-light hopper or awning. The upper level windows are painted yellow. At the Kitchen all windows are unfinished double-hung; six-over-six light at the lower level, one-over-one at the upper. The exterior door to the west is two-panel with single light glazing, painted brown. To the Breezeway on the east the door is of vertical half-log construction both sides with single-light glazing and a stained finish. A buff-color brick exterior chimney

stands at the north side of the Kitchen; a red brick Dining Hall chimney penetrates the roof.

At the interior, the lower level Dining Hall features a large, built-in, half-log-sided china cupboard and exterior log walls that have been adzed smooth. Flooring is 3 1/4" wood strip. 10" boards above 6 1/2" to 7" diameter at 2'4" on center log floor joists comprise the ceiling. The Kitchen has been outfitted as a commercial facility with various appliances, multiple sinks, cabinets, counters, a work island, and resilient floor covering. Formerly exposed log wall and ceiling joist construction has been covered with gypsum wallboard and suspended acoustic tile. The Kitchen houses a steep, enclosed wood stair to the unfinished two rooms of the upper floor level. A lavatory, water heater, and ball-and-claw-foot bathtub have been added above the Kitchen.

Cabin A

Situated immediately south of the Main Lodge, Cabin A is a one story, gable-roofed (12:12 slope) log structure built in a rustic style. Its rectangular plan dimensions approximately 26'6" wide by 19'0" with an 8'0" deep, full-width porch fronting Mic Mac Lake to the east.

Exterior wall construction features horizontally-placed, saddle-notched, 7" diameter logs. They also close the gable ends. Sill logs bear on shallow, poured concrete footings which are continuous along the rear wall and square pad at corners and intermediate bearing locations. All logs are left in the round, unfinished, with exterior quarter-round mouldings over oakum-filled joints.

Roof framing also is of log with 4" to 4 1/2" diameter log rafters and collars at 3'0" on center. A centered, 6 1/2" diameter transverse beam spans the cabin east to west and ties the front and rear rafter plates. Charcoal-color, composition shingles on 5" to 12" random width sheathing boards cover the roof. A sheet metal flue stands near the ridge.

The shed-roofed (2 1/2:12 slope) porch features log posts; wood shingles and board sheathing on 3" diameter log rafters at 3'0" on center; and 3 1/4" wood strip flooring on 2x4 and 6x6 joists. It has been enclosed with screening above half-log siding. Similar siding covers the cabin's exterior log wall within the porch. A wood stair leading to a four-panel screen door provides access from the north. To the south, a five-panel screen door with

spindlework leads to a wood deck and free-standing, gable-roofed outhouse clad with half-log siding and roofed with composition shingles.

All windows are six-over-six light, single-hung. Those within the porch are painted dark green. The front door is five-panel, glazed, and painted brown. Its adjacent twin door opening has been infilled with log.

At the interior, a low, half-log-sided partition with two-panel louvered door equally divides the space north and south. On the north side of the partition is a corner brick hearth; on the south are angle-bracket flue supports mounted high on the partition. Both rooms are open to the gable with exposed log construction throughout and 3 1/2" wood strip flooring. Interior millwork is painted yellow; the walls varnished.

Cabin B

Located on the shoreline of Mic Mac Lake, Cabin B is a one story, gable-roofed (8 1/2:12 slope) log structure built in a rustic style. Its rectangular plan dimensions approximately 28'0" wide by 24'0" with a 7'0" deep, full-width porch fronting the lake to the east.

Exterior wall construction features both horizontal and palisaded log. A typical wall section, bottom to top, consists of shallow, poured concrete pad footings; 10" diameter, saddle-notched horizontal logs; a 6" to 7" log palisade; and a 5 1/2" by 5 1/2" squared log rafter plate. Vertical boards and battens close the gable ends. All logs, excepting rafter plates, are left in the round, unfinished, with exterior quarter-round mouldings over oakum-filled joints.

Roof framing also is of log with 4" diameter log rafters at approximately 2'0" on center; 1x6 collars (two 2x6s at gable end rafters); and two 7" diameter, transverse log beams at 9'0" on center which tie the front and rear rafter plates. Supplementing these tie beams are two 3/8" turnbuckled cables anchored at each rafter plate with 1/2" eye-bolts and plate washers. Charcoal-color, composition roll roofing on random width sheathing boards cover the roof. Composition shingles cover the gable ends. A sheet metal flue stands near the ridge.

The shed-roofed (4:12 slope) porch features log posts; roll roofing and random width board sheathing on 3" diameter log rafters at 2'0" on center; and 2 3/4" wood strip flooring. It has been enclosed with screening and half-log siding.

A wood stair leading to a five-panel screen door provides access from the north. To the south, a five-panel screen door leads to a wood deck and free-standing, gable-roofed outhouse clad with half-log siding and roofed with composition shingles.

Windows generally are six-over-six light, single-hung with painted finish. Gable ends also have six-light in-swinging casements. The front door is five-panel, glazed, and painted yellow.

At the interior, a low longitudinal partition divides the space east and west while low closet construction divides the rear into two rooms. The partition is constructed of 6" diameter palisaded logs on three horizontal courses of 7" to 8" log with two, two-panel louvered doors. A centered brick hearth sits on the east side of the partition; on the west a bracket-supported stovepipe. Closets feature double-leaf, two-panel louvered doors and engaged lavatory counters. All three rooms are open to the gable with exposed log construction throughout and 1 1/2" wood strip flooring. Interior window trim and doors are painted yellow; the walls varnished.



EXISTING CONDITIONS
and
RECOMMENDATIONS

EXISTING CONDITIONS AND RECOMMENDATIONS

This section inventories in detail the condition of each Category One building at Tettegouche Camp and presents specific restoration recommendations.

Similar but less extensive information regarding Category Two and Category Three buildings is presented in Appendix D. The following considerations guided the analysis:

Restoration Rationale: Although the recommendations presented below are for optimal restoration, the buildings need not be fully restored to be functional, and need not be restored all at once -- the work may be phased. Criteria for phasing could include: (a) structural stability and weather-proofing; (b) reuse potential; (c) historical and architectural significance; and (d) funding availability and schedule.

It is the intent of the recommendations to preserve, insofar as possible, the original historic building fabric consistent with budget constraints and maintaining structural integrity. Regarding log restoration for example: (a) where log crown ends are deteriorated, splice new ends rather than replace the entire log; (b) where interior log faces are sound but exteriors are not, cut away the rotted material and reface with half logs secured with epoxy and mechanical pins; and (c) where sill logs are beyond reasonable redemption, replace.

Recommended for full or partial first phase restoration are the Main Lodge, Breezeway, Kitchen/Dining Hall, Cabin A, Cabin B and Cabin C. Buildings to be addressed in later phases initially should be "mothballed" -- i.e.,

structurally stabilized, protected from the weather, and maintained (see Maintenance section) -- to limit further deterioration.

The Barn, Garage and especially the Filers' Shack are in an advanced state of structural deterioration. Partial or complete demolition are reasonable options for these three structures; however, demolition must not be undertaken without the review and explicit concurrence of the Minnesota State Historic Preservation Office.

Reuse Program: Potential reuses for first rank buildings include the following:

- Trail Shelter/Interpretive Center
- Main Lodge
- Breezeway
- Kitchen/Dining Hall
- Group Camp Facility Sleeping Quarters
- Cabin A
- Cabin B
- Caretaker's Residence
- Cabin C

Note that public occupancy of the Kitchen/Dining Hall's second floor level should not be permitted due to inadequate floor load capacity, inadequate access and egress, and a sub-standard stair -- its treads are 9" rather than the 11" minimum by code; its 9 1/4" risers far exceed the 7" maximum allowable.

Barrier-free access that does not fundamentally compromise the historic integrity of the buildings must be incorporated into the reuse program. The Main Lodge, Breezeway, and Kitchen/Dining Hall are readily adaptable since

their ground floor elevations approximate grade. Cabin access will require ramping (1:20 maximum slope).

Utilities: Electrical service is recommended at all buildings, excepting the Boat Shelter.

Retention and upgrade of existing plumbing systems is recommended at the kitchens of the Kitchen/Dining Hall and Cabin C and the bathrooms of Cabins C and D.

Wood-burning stoves supplemented by electric unit heaters are recommended for occupied structures.

Site Development: Typically, grade has been raised from its historic level at building perimeters. Surface water frequently is channeled toward rather than away from foundations and sills, resulting in serious deterioration. Existing grades should be cut to their proper levels and swales created to control and direct runoff.

Trees that threaten roof structures should be trimmed or removed. Plant materials that hold water adjacent to foundations and sills, thereby contributing to log and frame deterioration, should be cleared.

Construction of a new Toilet/Shower building is recommended. This facility could be centrally located on the Garage site (assuming demolition of the Garage), and could be designed to replicate the plan dimension, roof form, and vertical-log-sided appearance of the earlier structure.

The existing sewer drain field must be brought up to code with new pipe, sumps, septic tank, pumps, fittings, and lift station with its associated electrical service.

The general structural condition of Category One buildings at Tettegouche Camp ranges from fair to poor. Typical significant problem areas include:

Foundations: The wood foundations of the Main Lodge, Breezeway, and Kitchen/Dining Hall appear to have deteriorated to a point where replacement is mandated.

Foundations of Cabins A and B recently have been replaced; however, these new concrete footings do not extend below frost; have been subject to heaving; and again must be replaced.

Exterior Walls: All Category One buildings have experienced significant deterioration of their log exterior walls, especially at sills. Rotted horizontal and palisaded logs are to be selectively replaced, spliced, or re-faced.

Out-of-plumb and crowned log walls, especially at the Kitchen/Dining Hall and Main Lodge, are to be jacked approximately plumb and level. Coordinate work with foundation and sill log replacement. Jacking must be performed in a slow, uniform manner so as not to damage log connections, and joints must be re-packed or re-chinked.

Roofs: All main roofs of Category One buildings, although understructured and exhibiting some rafter tail deterioration, are in fair condition with the exception of the Breezeway; its rafters and plates have rotted. Replace rotted members; structurally reinforce main roof framing systems and connections; and re-shingle.

All porch roofs are greatly understructured and should be replaced in their entirety.

Ground Floor: The ground floor structures of the Main Lodge, Breezeway, and Kitchen/Dining Hall are out-of-level. Take up existing wood flooring; repair/replace/reset joists and sleepers; and re-set flooring.

Detailed condition inventories and recommendations for each Category One building are presented below.

EXISTING CONDITIONS AND RECOMMENDATIONS

Main Lodge

<u>Exterior Features</u>	<u>Conditions/Recommendations</u>
Landscape:	Cut grade and create swales at building perimeter for proper site drainage Trim/remove trees and other plant materials at building perimeter
Foundation:	Replace existing deteriorated foundation with new
Log Walls:	Replace deteriorated sill log and all horizontal logs at north side Re-face deteriorated palisade sill log at north side Replace deteriorated sill log, all horizontal logs and palisade sill log at west wall north of Breezeway Replace deteriorated sill log and 2 horizontal logs at west wall south of chimney Replace deteriorated sill log at east side Replace 5 deteriorated log crowns Repack oakum at log joints and reset quarter-round moulding
Roof: Framing	See Appendix A: Roof Structural Survey Install supplementary log rafter collars with thru-bolts at main roof rafters Secure roof rafters to rafter plates Structurally stabilize or replace log framing at porch
Sheathing	Replace deteriorated board sheathing
Shingles	Tear off existing and replace with new wood shingles
Metals	Replace sheet metal flashing, gutters and downspouts
Chimneys:	Repoint stonework
Porches:	Structurally stabilize or replace existing framing Remove non-original construction and restore to original configuration Replace screening
Windows:	See Appendix B: Window Condition Survey Rebuild 7 racked windows Replace 3 rotted sills Replace heads and jambs at 2 windows Reconstruct east wall windows to match original configuration Provide screens Rebuild window flower boxes

Doors: See Appendix C: Door Condition Survey
 Repair 2 door frames
 Make hardware complete

Finishes: Prepare surfaces and apply wood preservative/repellent

<u>Interior Features</u>	<u>Conditions/Recommendations</u>
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Walls:	Reconstruct 2 original east-west partitions of horizontal and palisaded log
Floors:	Repair/replace existing floor structure and damaged floor boards Reconstruct original loft at north side
Doors:	Install 2 new doors with rustic transoms at reconstructed partitions
Finishes:	Prepare surfaces and refinish
Fireplace:	Remove caulk and repoint stonework Clean stonework Make fully operational
Stoves:	Install wood stoves and metal flues for supplemental heat Remove existing oil-fired unit heater and exterior oil tank
Electrical:	Install electric service panel, power and lighting Electrical wiring to be concealed or installed in an unobtrusive manner

Breezeway

Exterior Features

Conditions/Recommendations

Landscape:	Cut grade and create swales at building perimeter for proper site drainage Trim/remove trees and other plant materials at building perimeter
Foundation:	Replace existing deteriorated foundation with new
Frame Walls:	Replace deteriorated framing Replace deteriorated log siding Replace deteriorated board flooring Replace screening
Roof: Framing	See Appendix A: Roof Structural Survey Replace deteriorated rafters Replace deteriorated rafter plate at NE/NW and SE corners Replace deteriorated fascia Replace deteriorated bell support log
Sheathing	Replace deteriorated board sheathing
Shingles	Tear off existing and replace with new wood shingles
Metals	Replace sheet metal flashing, gutters and downspouts
Doors:	See Appendix C: Door Condition Survey Replace 2 screen doors
Finishes:	Prepare surfaces and apply wood preservative and repellent
Electrical:	Install power and lighting Electrical wiring to be concealed or installed in an unobtrusive manner

Kitchen/Dining Hall

<u>Exterior Features</u>	<u>Conditions/Recommendations</u>
Landscape:	Cut grade and create swales at building perimeter for proper site drainage Trim/remove trees and other plant materials at building perimeter
Foundation:	Replace existing deteriorated foundation with new
Log Walls:	Replace deteriorated sill log and one log at west wall of Kitchen Re-face 2 deteriorated logs at west wall of Kitchen Replace deteriorated sill log and 1 log at west wall Replace deteriorated sill log and 2 logs at south wall Replace deteriorated sill log and 5 logs at east wall Re-face 2 deteriorated logs at east wall Replace deteriorated sill log and 2 logs at east wall of Kitchen Re-face 4 deteriorated logs at east wall of Kitchen Replace 16 deteriorated log crowns Replace portland-cement-mortar chinking at Kitchen with high-lime-content mortar chinking Repack oakum at Dining Hall log joints and reset quarter-round moulding
Roof: Framing	See Appendix A: Roof Structural Survey Replace deteriorated rafter tails, soffits and fascias Structurally reinforce roof framing
Sheathing	Replace deteriorated board sheathing
Shingles	Tear off existing and replace with new wood shingles
Metals	Replace sheet metal flashing, gutters and downspouts
Chimneys:	Repair/repoint existing chimney at Dining Hall Demolish existing chimney at north wall of Kitchen
Porches:	Reconstruct original platform and "rustic" rail at west door
Windows:	See Appendix B: Window Condition Survey Rebuild 18 racked windows Replace 4 rotted sills Replace 1 rotted window head Replace 4 rotted jambs at 2 windows Replace 1 apron Remove screens Provide screens Rebuild window flower boxes
Doors:	See Appendix C: Door Condition Survey Repair door frames

Finishes: See Appendix C: Door Condition Survey
Prepare surfaces and apply wood preservative/repellent

<u>Interior Features</u>	<u>Conditions/Recommendations</u>
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Walls:	Replace existing gypsum wallboard walls at Kitchen with new gypsum wallboard
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Ceilings:	Replace existing suspended ceiling at Kitchen with board ceiling
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Floors:	Repair/replace existing structural system Replace damaged board flooring at Dining Hall Replace existing sub and resilient flooring at Kitchen
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Finishes:	Prepare surface and refinish at Kitchen
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Kitchen:	Repair, clean, and re-activate existing commercial kitchen equipment, provide appliances
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Stoves:	Install wood stoves and metal flues for supplemental heat
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Electrical:	Install electric service panel, baseboard heat, power and lighting Electrical wiring to be concealed or installed in an unobtrusive manner
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Plumbing:	Reconnect existing kitchen plumbing systems Remove existing second floor lavatory, bathtub, water heater and associated piping
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Cabin A

<u>Exterior Features</u>	<u>Conditions/Recommendations</u>
Landscape:	Cut grade and create swales at building perimeter for proper site drainage Trim/remove trees and other plant materials at building perimeter
Foundation:	Replace existing with new posts on concrete footings
Log Walls:	Replace broken log at north side Re-face 6 deteriorated logs at north and south sides Replace 3 deteriorated log crowns Repack oakum at log joints and reset quarter-round moulding
Frame Walls:	Demolish existing wood frame outhouse and deck at south side
Roof: Framing	See Appendix A: Roof Structural Survey Replace deteriorated rafter tails Tie front and rear log roof rafter plates with a centered, transverse, turnbuckled cable to supplement 2 existing cables Install supplementary rafter collars with thru-bolts at main roof rafters
Sheathing	Secure roof rafters to rafter plates
Shingles	Replace deteriorated board sheathing
Metals	Tear off existing and replace with new wood shingles Replace sheet metal flashing, gutters and downspouts
Chimneys:	Replace existing metal flue
Porches:	Structurally stabilize or replace existing framing Remove non-original construction and restore to original configuration Replace screening Replace wood stairs and rails at north and south sides
Windows:	See Appendix B: Window Condition Survey Rebuild 4 racked windows Replace 2 window sills Replace broken glass lights Provide screens
Doors:	See Appendix C: Door Condition Survey Replace exterior door to match original configuration Open infilled original door opening at east side and install new frame and door Replace 1 screen door at porch Rebuild 1 screen door at porch
Finishes:	Prepare surfaces and apply wood preservative/repellent

<u>Interior Features</u>	<u>Conditions/Recommendations</u>
Finishes:	Prepare surfaces and refinish
Stoves:	Install wood stove and metal flue for supplemental heat
Electrical:	Install electric service panel, power and lighting Electrical wiring to be concealed or installed in an unobtrusive manner
Plumbing:	Remove existing lavatories and associated piping

Cabin B

Exterior Features

Conditions/Recommendations

Landscape:	Cut grade and create swales at building perimeter for proper site drainage Trim/remove trees and other plant materials at building perimeter
Foundation:	Replace existing with new posts on concrete footings
Log Walls:	Replace 1 deteriorated log at north side Re-face 2 deteriorated logs at north side Re-face deteriorated palisade logs at north side Replace missing sill log at west side Re-face deteriorated sill log at south side Replace 1 deteriorated log at east side Replace 2 deteriorated log crowns Repack oakum at log joints and reset quarter-round moulding
Frame Walls:	Demolish existing wood frame outhouse and deck at south side Tear off existing gable end shingling and replace with new shingling
Roof: Framing	See Appendix A: Roof Structural Survey Replace rotted rafter tails Tie front and rear log roof rafter plates with 3 equally spaced, transverse, turnbuckled cables Install supplementary rafter collars with thru-bolts at main roof rafters
Sheathing	Secure roof rafters to rafter plates
Shingling	Replace deteriorated board sheathing
Metals	Tear off existing and replace with new wood shingles Replace sheet metal flashing, gutters and downspouts
Chimneys:	Replace existing metal flue
Porches:	Structurally stabilize or replace existing framing Remove non-original construction and restore to original configuration
Windows:	See Appendix B: Window Condition Survey Rebuild 2 racked windows Replace 2 window sills Replace bottom sash rail at 3 windows Replace muntins at 1 window Replace broken glass lights Provide screens
Doors:	See Appendix C: Door Condition Survey Rebuild 2 screen doors at porch

Finishes: Prepare surfaces, refinish and apply wood preservative/repellent

<u>Interior Features</u>	<u>Conditions/Recommendations</u>
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Finishes:	Prepare surfaces and refinish
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Stoves:	Install wood stove and metal flue for supplemental heat
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Electrical:	Install electric service panel, power and lighting Electrical wiring to be concealed or installed in an unobtrusive manner
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Plumbing:	Remove existing lavatories, water heater and associated piping
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RESTORATION
CONSTRUCTION COST ESTIMATES

RESTORATION CONSTRUCTION COST ESTIMATES

A Cost Summary accompanied by itemized cost breakdowns for each Tettegouche Camp building comprise the Restoration Construction Cost Estimates section. Category One building costs are based on recommendations set forth in the preceding section; Category Two and Category Three costs are referenced to Appendix D recommendations. Added to direct building costs are a contractor's marshalling costs -- i.e., general conditions; a substantial contingency to cover unknown conditions invariably encountered when working with historic building fabric; and professional fees for architectural and engineering services. The costs reflect the construction climate as of June 1989. No chronological priority is implied in the arrangement of the listed work items. Criteria for phasing of the work include: (a) structural stability and weather-proofing which occupy the first rank; (b) funding availability and schedule; and (c) reuse program. As conditions change over time; as reuse plans are firmed up; and as more is known about the structures during various construction phases, the costs may require adjustment, either up or down.

COST SUMMARY

Direct Building Costs		\$356,700
Category One:	Main Lodge	\$57,300
	Breezeway	4,700
	Kitchen/Dining Hall	69,500
	Cabin A	35,500
	Cabin B	36,400
Category Two:	Cabin C	38,600
	Barn	60,000
	Garage	9,600
	Outhouse	4,000
	Filers' Shack	18,900
Category Three:	Boat Shelter	8,000
	Root Cellar	6,500
	Sauna	1,700
	Cabin D	2,600
	Bath House	2,400
	Dog House	1,000
General Conditions (10%±)		<u>\$ 35,900</u>
Sub-Total		\$392,600
Contingencies (25%±)		<u>\$ 98,300</u>
Sub-Total		\$490,900
Professional Fees (10%±)		<u>\$ 49,400</u>
Total Building Costs		\$540,300
Site Development Costs		\$108,400
	Electrical	\$ 4,000
	Water and Sewer	14,400
	Toilet/Shower Building	90,000
TOTAL PROJECT COST		<u>\$648,700</u>

MAIN LODGE

<u>Work Item</u>	<u>Cost Estimate</u>
<u>Exterior</u>	
Landscape	\$ 2,000
Foundation	6,000
Log Walls	13,000
Roof	7,000
Chimneys	600
Porches	8,000
Windows	2,600
Doors	300
Finishes	500
<u>Interior</u>	
Walls	800
Ceilings	1,000
Floors	4,000
Doors	600
Finishes	400
Fireplace	500
Stoves	4,000
Electrical	<u>6,000</u>
SUB-TOTAL	\$57,300
General Conditions (10%)	<u>\$ 5,700</u>
Sub-Total	\$63,000
Contingencies (25%)	<u>\$15,800</u>
Sub-Total	\$78,800
Professional Fees (10%)	<u>\$ 7,900</u>
TOTAL	\$86,700

BREEZEWAY

<u>Work Item</u>	<u>Cost Estimate</u>
Landscape	\$ 400
Foundation	1,000
Frame Walls	1,000
Roof	1,600
Doors	400
Finishes	100
Electrical	<u>\$ 200</u>
Sub-Total	\$4,700
General Conditions (10%)	<u>\$ 500</u>
Sub-Total	\$5,200
Contingencies (25%)	<u>\$1,300</u>
Sub-Total	\$6,500
Professional Fees (10%)	<u>\$ 700</u>
TOTAL	\$7,200

KITCHEN/DINING HALL

<u>Work Item</u>	<u>Cost Estimate</u>
<u>Exterior</u>	
Landscape	\$ 2,000
Foundation	10,000
Log Walls	21,800
Roof	6,000
Chimneys	1,000
Porches	300
Windows	6,100
Doors	200
Finishes	600
<u>Interior</u>	
Walls	1,200
Ceilings	2,000
Floors	5,000
Finishes	800
Kitchen	3,000
Stoves	4,000
Electrical	5,000
Plumbing	<u>500</u>
Sub-Total	\$ 69,500
General Conditions (10%)	<u>\$ 7,000</u>
Sub-Total	\$ 76,500
Contingencies (25%)	<u>\$ 19,100</u>
Sub-Total	\$ 95,600
Professional Fees (10%)	<u>\$ 9,600</u>
TOTAL	\$105,200

CABIN A

<u>Work Item</u>	<u>Cost Estimate</u>
<u>Exterior</u>	
Landscape	\$ 2,000
Foundation	5,000
Log Walls	7,500
Frame Walls	400
Roof	4,000
Chimneys	300
Porches	6,000
Windows	1,400
Doors	2,600
Finishes	500
<u>Interior</u>	
Finishes	500
Stoves	2,000
Electrical	3,000
Plumbing	<u>300</u>
Sub-Total	\$35,500
General Conditions (10%)	<u>\$ 3,600</u>
Sub-Total	\$39,100
Contingencies (25%)	<u>\$ 9,800</u>
Sub-Total	\$48,900
Professional Fees (10%)	<u>\$ 4,900</u>
TOTAL	\$53,800

CABIN B

<u>Work Item</u>	<u>Cost Estimate</u>
<u>Exterior</u>	
Landscape	\$ 2,000
Foundation	5,000
Log Walls	10,000
Frame Walls	1,000
Roof	4,000
Chimneys	300
Porches	6,000
Windows	1,400
Doors	400
Finishes	500
<u>Interior</u>	
Finishes	500
Stoves	2,000
Electrical	3,000
Plumbing	<u>300</u>
Sub-Total	\$36,400
General Conditions (10%)	<u>\$ 3,600</u>
Sub-Total	\$40,000
Contingencies (25%)	<u>\$10,000</u>
Sub-Total	\$50,000
Professional Fees (10%)	<u>\$ 5,000</u>
TOTAL	\$55,000

CABIN C

<u>Work Item</u>		<u>Cost Estimate</u>
<u>Exterior</u>	Landscape	\$ 1,000
	Foundation	8,000
	Log Walls	10,000
	Roof	2,400
	Porches	1,000
	Windows	600
	Finishes	3,600
<u>Interior</u>	Walls	1,000
	Finishes	500
	Kitchen	2,000
	Stoves	4,000
	Electrical	4,000
	Plumbing	<u>500</u>
	Sub-Total	\$38,600
General Conditions (10%)		<u>\$ 3,900</u>
Sub-Total		\$42,500
Contingencies (25%)		<u>\$10,600</u>
Sub-Total		\$53,100
Professional Fees (10%)		<u>\$ 5,300</u>
TOTAL		\$58,400

BARN

<u>Work Item</u>	<u>Cost Estimate</u>
<u>Exterior</u>	
Landscape	\$ 500
Foundation	5,000
Log Walls	36,000
Roof	6,000
Windows	1,000
Doors	500
Finishes	600
<u>Interior</u>	
Clean-out	500
Framing	5,000
Walls	500
Floors	500
Doors	400
Finishes	500
Electrical	<u>3,000</u>
Sub-Total	\$60,000
General Conditions (10%)	<u>\$ 6,000</u>
Sub-Total	\$66,000
Contingencies (25%)	<u>\$16,500</u>
Sub-Total	\$82,500
Professional Fees (10%)	<u>\$ 8,300</u>
TOTAL	\$90,800

GARAGE

<u>Work Item</u>		<u>Cost Estimate</u>
<u>Exterior</u>	Landscape	\$ 200
	Walls	5,600
	Roof	2,200
	Doors	600
	Finishes	200
<u>Interior</u>	Clean-out	200
	Floors	100
	Finishes	100
	Electrical	<u>400</u>
Sub-Total		\$ 9,600
General Conditions (10%)		<u>\$ 1,000</u>
Sub-Total		\$10,600
Contingencies (25%)		<u>\$ 2,700</u>
Sub-Total		\$13,300
Professional Fees (10%)		<u>\$ 1,300</u>
TOTAL		\$14,600

OUTHOUSE

<u>Work Item</u>	<u>Cost Estimate</u>
<u>Exterior</u>	
Landscape	\$ 300
Foundation	100
Log Walls	2,000
Roof	500
Porches	100
Windows	100
Doors	300
Finishes	100
<u>Interior</u>	
Floors	200
Finishes	100
Electrical	<u>200</u>
Sub-Total	\$4,000
General Conditions (10%)	<u>\$ 400</u>
Sub-Total	\$4,400
Contingencies (25%)	<u>\$1,100</u>
Sub-Total	\$5,500
Professional Fees (10%)	<u>\$ 600</u>
TOTAL	\$6,100

FILERS' SHACK

<u>Work Item</u>	<u>Cost Estimate</u>
<u>Exterior</u>	
Landscape	\$ 300
Foundation	3,300
Log Walls	8,000
Roof	1,800
Windows	1,400
Doors	500
Finishes	200
<u>Interior</u>	
Framing	2,000
Floors	1,000
Finishes	200
Electrical	<u>200</u>
Sub-Total	\$18,900
General Conditions (10%)	<u>\$ 1,900</u>
Sub-Total	\$20,800
Contingencies (25%)	<u>\$ 5,200</u>
Sub-Total	\$26,000
Professional Fees (10%)	<u>\$ 2,600</u>
TOTAL	\$28,600

BOAT SHELTER

<u>Work Item</u>	<u>Cost Estimate</u>
Logs	\$ 6,500
Roof.	1,400
Finishes	<u>100</u>
Sub-Total	\$ 8,000
General Conditions (10%)	<u>\$ 800</u>
Sub-Total	\$ 8,800
Contingencies (25%)	<u>\$ 2,200</u>
Sub-Total	\$11,000
Professional Fees (10%)	<u>\$ 1,100</u>
TOTAL	\$12,100

ROOT CELLAR

<u>Work Item</u>	<u>Cost Estimate</u>
<u>Exterior</u>	
Landscape	\$ 300
Log Walls	5,000
Stone Walls	200
Roof	200
Doors	300
<u>Interior</u>	
Clean-out	100
Doors	200
Electrical	<u>200</u>
Sub-Total	\$6,500
General Conditions (10%)	<u>\$ 700</u>
Sub-Total	\$7,200
Contingencies (25%)	<u>\$1,800</u>
Sub-Total	\$9,000
Professional Fees (10%)	<u>\$ 900</u>
TOTAL	\$9,900

SAUNA

<u>Work Item</u>		<u>Cost Estimate</u>
<u>Exterior</u>	Landscape	\$ 100
	Foundation	100
	Roof	300
	Porches	200
	Windows	300
	Doors	200
	Finishes	200
<u>Interior</u>	Electrical	<u>\$ 300</u>
	Sub-Total	\$1,700
General Conditions (10%)		<u>\$ 200</u>
	Sub-Total	\$1,900
Contingencies (25%)		<u>\$ 500</u>
	Sub-Total	\$2,400
Professional Fees (10%)		<u>\$ 300</u>
	TOTAL	\$2,700

CABIN D

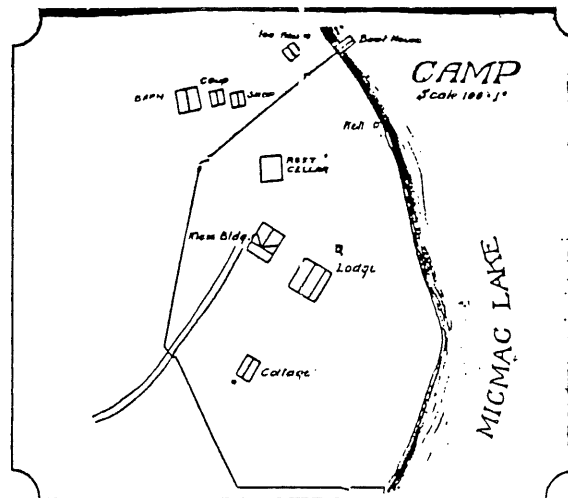
<u>Work Item</u>	<u>Cost Estimate</u>
<u>Exterior</u>	
Landscape	\$ 200
Foundation	200
Frame Walls	200
Roof	700
Porches	200
Windows	400
Finishes	400
<u>Interior</u>	
Electrical	100
Plumbing	<u>\$ 200</u>
Sub-Total	\$2,600
General Conditions (10%)	<u>\$ 300</u>
Sub-Total	\$2,900
Contingencies (25%)	<u>\$ 700</u>
Sub-Total	\$3,600
Professional Fees (10%)	<u>\$ 400</u>
TOTAL	\$4,000

BATH HOUSE

<u>Work Item</u>		<u>Cost Estimate</u>
<u>Exterior</u>	Landscape	\$ 200
	Roof	900
	Porches	200
	Windows	100
	Doors	100
	Finishes	200
<u>Interior</u>	Floors	300
	Finishes	200
	Electrical	<u>\$ 200</u>
Sub-Total		\$2,400
General Conditions (10%)		<u>\$ 200</u>
Sub-Total		\$2,600
Contingencies (25%)		<u>\$ 700</u>
Sub-Total		\$3,300
Professional Fees (10%)		<u>\$ 300</u>
TOTAL		\$3,600

DOG HOUSE

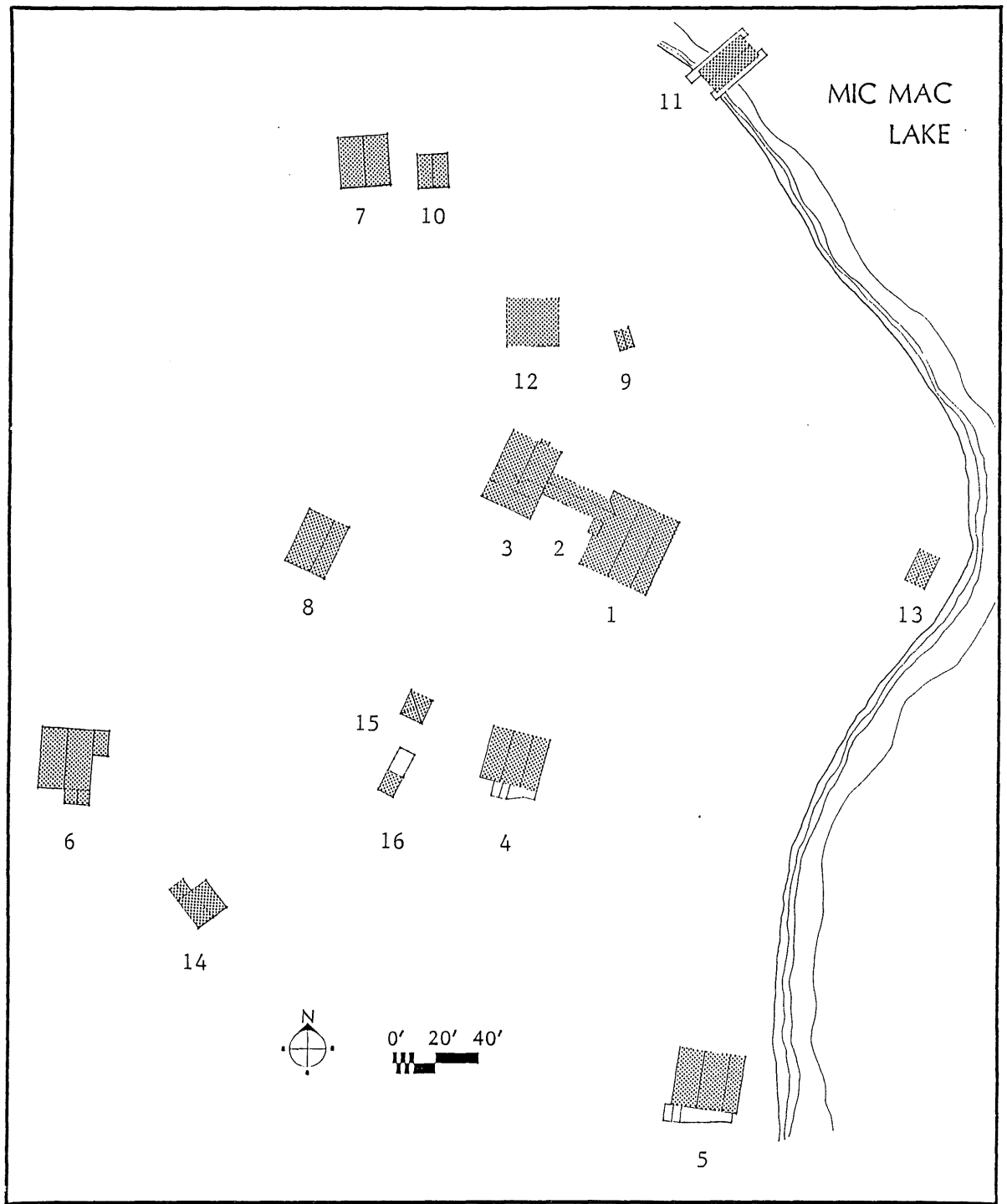
<u>Work Item</u>	<u>Cost Estimate</u>
<u>Exterior</u> Landscape	\$ 200
Frame walls	200
Roof	200
Windows	100
Finishes	100
<u>Interior</u> Electrical	<u>\$ 200</u>
Sub-Total	\$1,000
General Conditions (10%)	<u>\$ 100</u>
Sub-Total	\$1,100
Contingencies (25%)	<u>\$ 300</u>
Sub-Total	\$1,400
Professional Fees (10%)	<u>\$ 200</u>
TOTAL	\$1,600



ILLUSTRATIONS

INDEX OF DRAWINGS

<u>Number</u>	<u>Description</u>
Sketch 1	Tettegouche Camp Site Plan
Sketch 2	Main Lodge: Floor Plan
Sketch 3	Main Lodge: East Elevation
Sketch 4	Main Lodge: North Elevation
Sketch 5	Main Lodge: West Elevation
Sketch 6	Main Lodge: South Elevation
Sketch 7	Breezeway: Floor Plan, North Elevation, South Elevation
Sketch 8	Kitchen/Dining Hall: First Floor Plan
Sketch 9	Kitchen/Dining Hall: Second Floor Plan
Sketch 10	Kitchen/Dining Hall: West Elevation
Sketch 11	Kitchen/Dining Hall: South Elevation
Sketch 12	Kitchen/Dining Hall: East Elevation
Sketch 13	Kitchen/Dining Hall: North Elevation
Sketch 14	Cabin A: Floor Plan
Sketch 15	Cabin A: East Elevation
Sketch 16	Cabin A: North Elevation
Sketch 17	Cabin A: West Elevation
Sketch 18	Cabin A: South Elevation
Sketch 19	Cabin B: Floor Plan
Sketch 20	Cabin B: East Elevation
Sketch 21	Cabin B: North Elevation
Sketch 22	Cabin B: West Elevation
Sketch 23	Cabin B: South Elevation
Sketch 24	Cabin C: Floor Plan
Sketch 25	Barn: First Floor Plan
Sketch 26	Barn: Second Floor Plan
Sketch 27	Garage: Floor Plan
Sketch 28	Outhouse: Floor Plan
Sketch 29	Filers' Shack: Floor Plan



BUILDING LEGEND

Category One

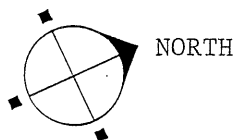
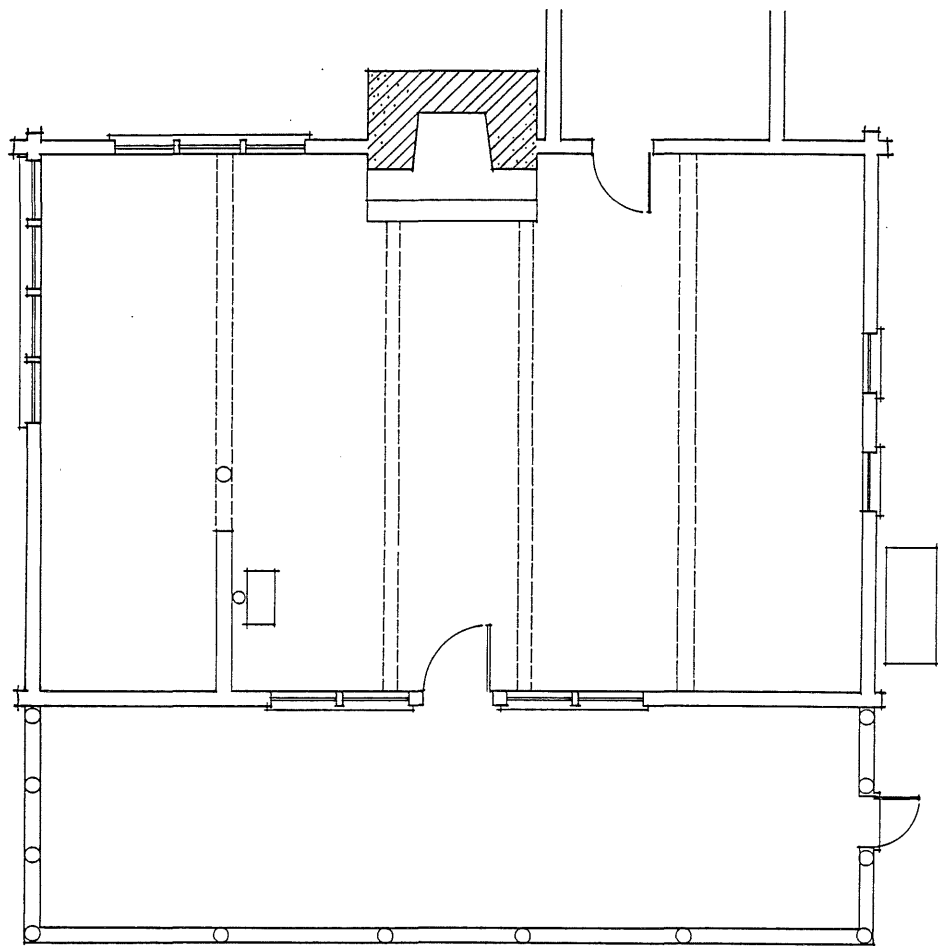
1. Main Lodge
2. Breezeway
3. Kitchen/Dining Hall
4. Cabin A
5. Cabin B

Category Two

6. Cabin C
7. Barn
8. Garage
9. Outhouse
10. Filers' Shack

Category Three

11. Boat Shelter
12. Root Cellar
13. Sauna
14. Cabin D
15. Bath House
16. Dog House



SCALE IN FEET

0 2 4 6 8 10

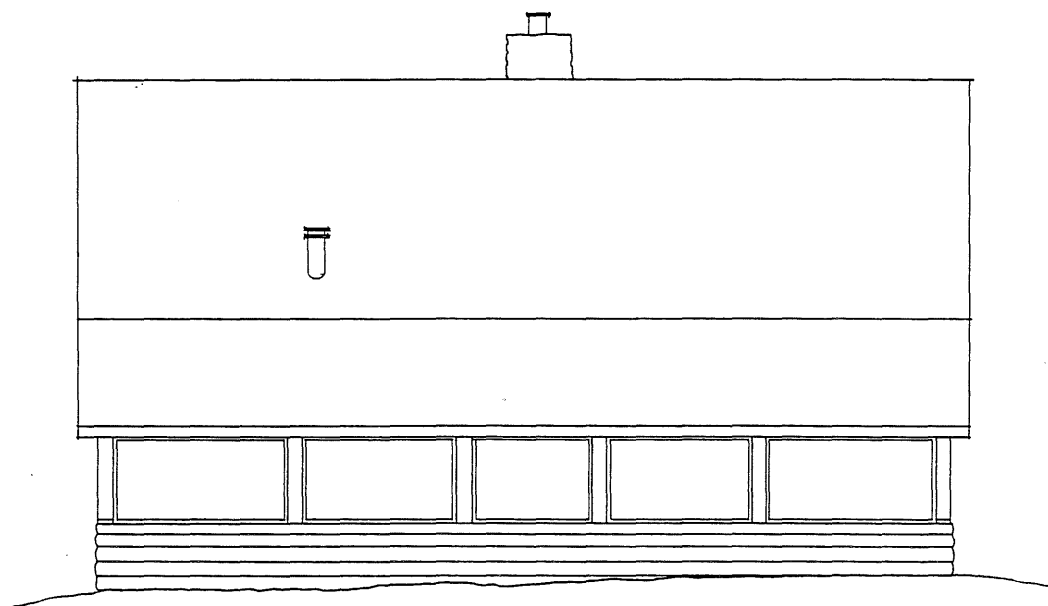


MAIN LODGE

TETTEGOUCHE CAMP

FLOOR PLAN

SKETCH 2



SCALE IN FEET

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MAIN LODGE
TETTEGOUCHE CAMP

EAST ELEVATION
SKETCH 3



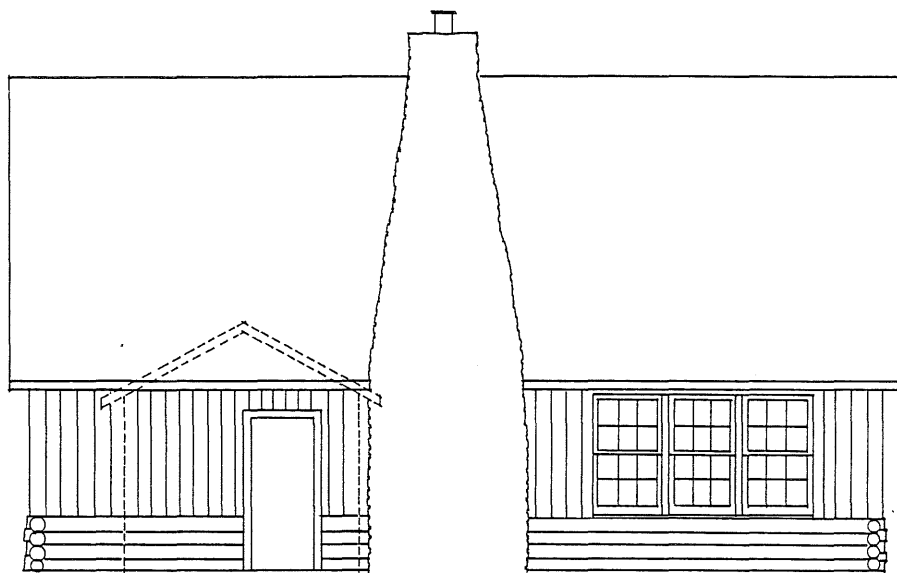
SCALE IN FEET

0 2 4 6 8 10



MAIN LODGE
TETTEGOUCHE CAMP

NORTH ELEVATION
SKETCH 4



SCALE IN FEET

0 2 4 6 8 10



MAIN LODGE
TETTEGOUCHE CAMP

WEST ELEVATION
SKETCH 5



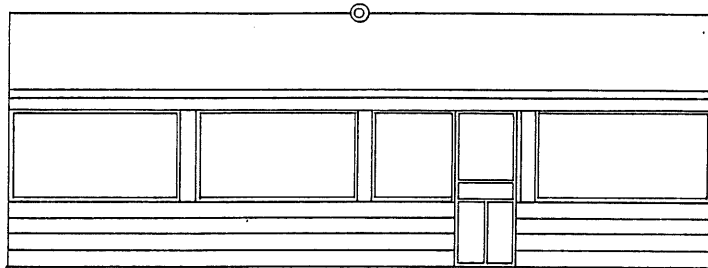
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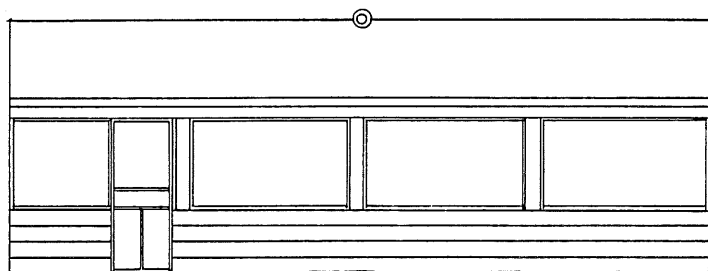


MAIN LODGE
TETTEGOUCHE CAMP

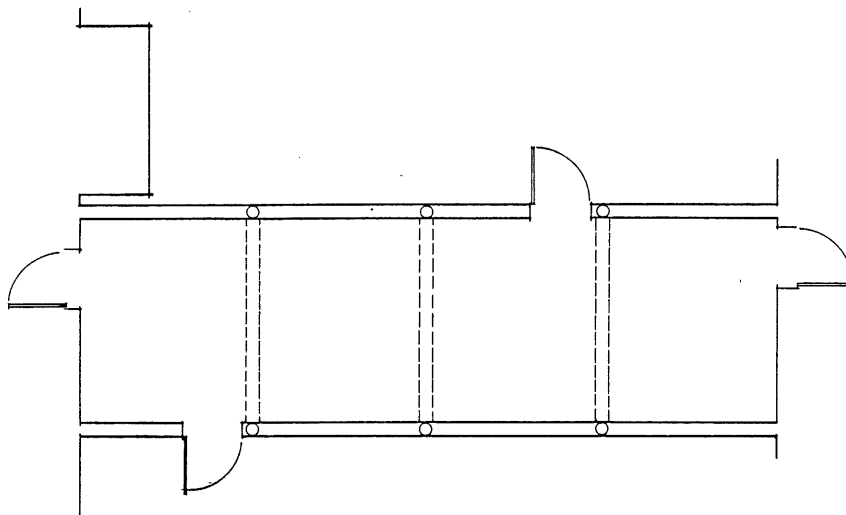
SOUTH ELEVATION
SKETCH 6



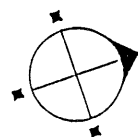
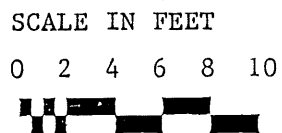
SOUTH ELEVATION



NORTH ELEVATION



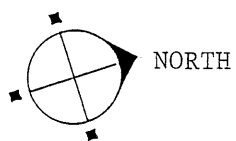
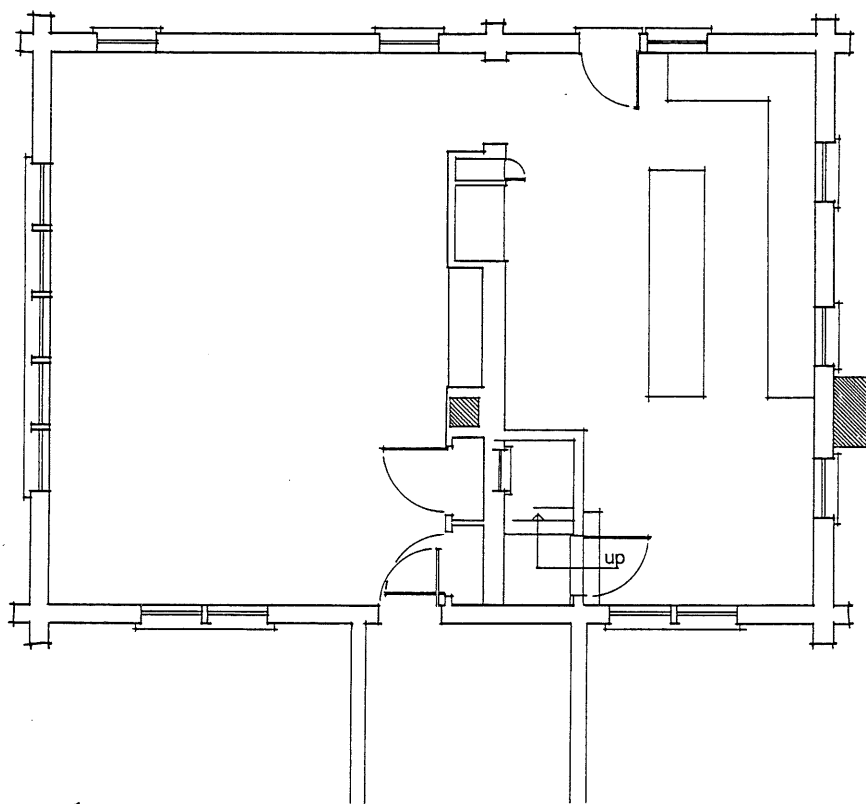
FLOOR PLAN



NORTH

BREEZEWAY
TETTEGOUCHE CAMP

FLOOR PLAN, NORTH ELEVATION, SOUTH ELEVATION
SKETCH 7



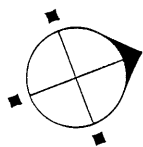
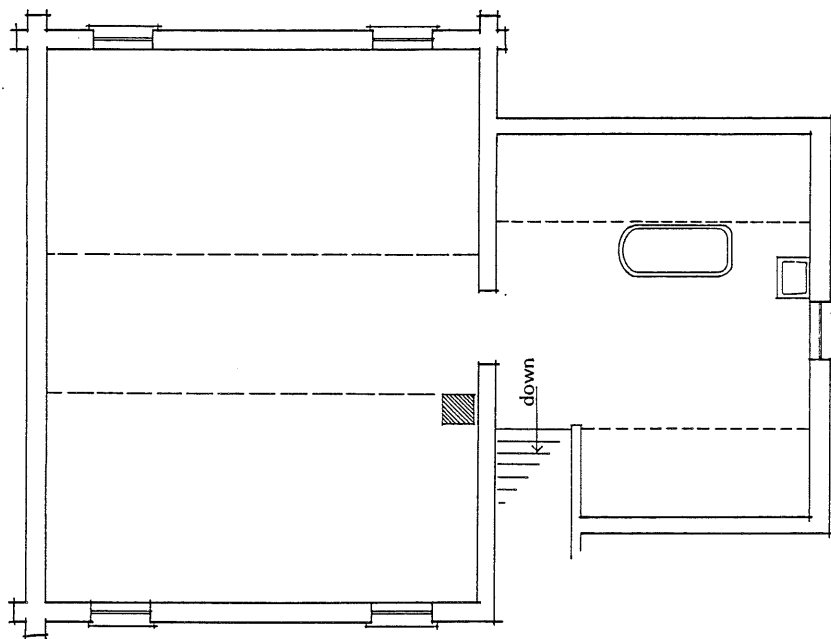
SCALE IN FEET

0 2 4 6 8 10



KITCHEN/DINING HALL
TETTEGOUCHE CAMP

FIRST FLOOR PLAN
SKETCH 8



NORTH

SCALE IN FEET

0 2 4 6 8 10



KITCHEN/DINING HALL
TETTEGOUCHE CAMP

SECOND FLOOR PLAN
SKETCH 9



SCALE IN FEET

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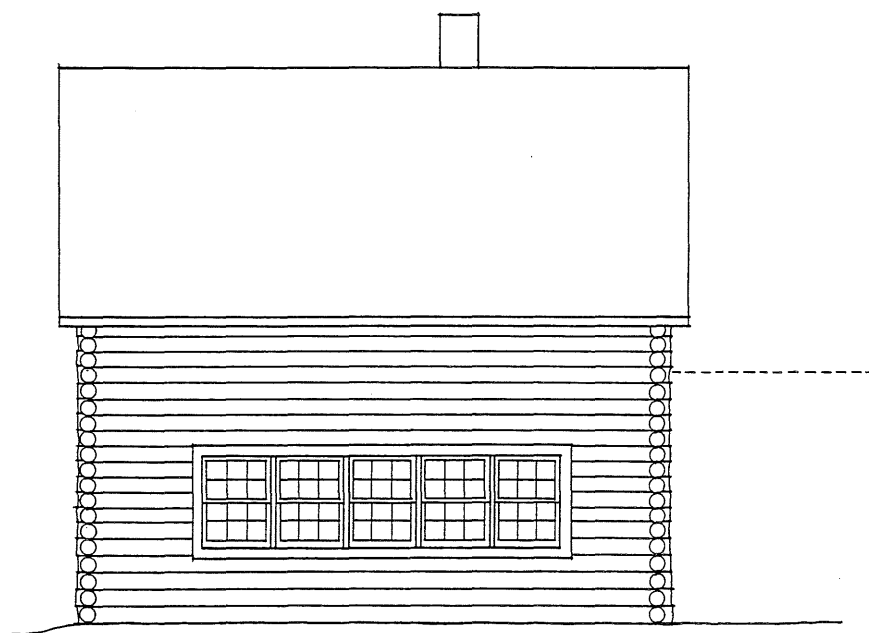


KITCHEN/DINING HALL

TETTEGOUCHE CAMP

WEST ELEVATION

SKETCH 10



SCALE IN FEET

0 2 4 6 8 10



KITCHEN/DINING HALL

TETTEGOUCHE CAMP

SOUTH ELEVATION

SKETCH 11



SCALE IN FEET

0 2 4 6 8 10



KITCHEN/DINING HALL
TETTEGOUCHE CAMP

EAST ELEVATION
SKETCH 12



SCALE IN FEET

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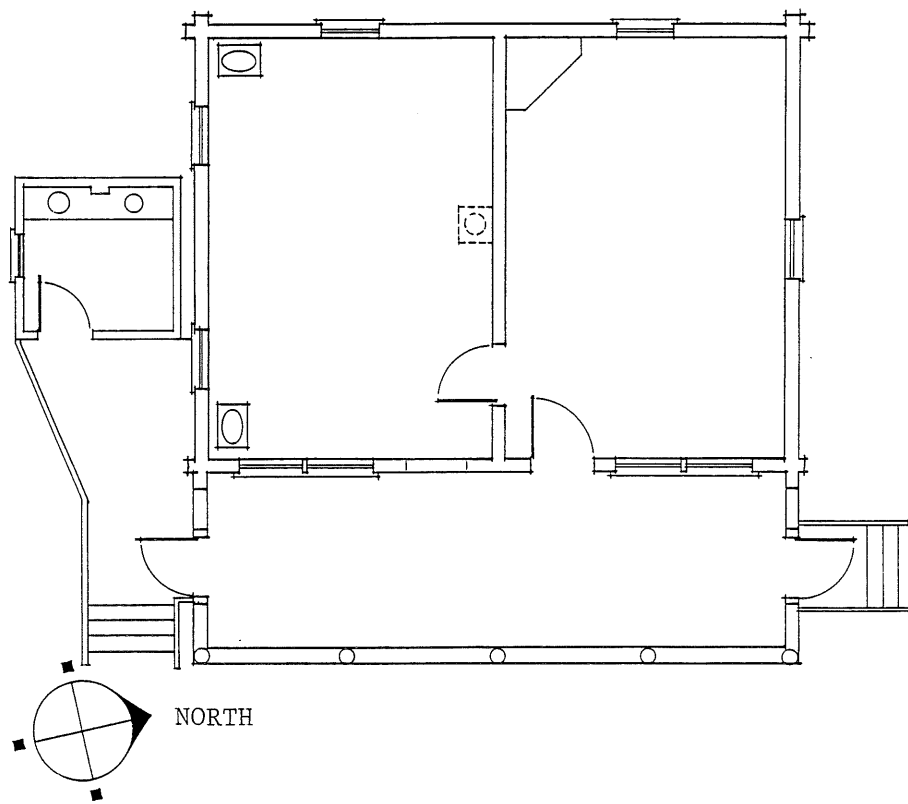


KITCHEN/DINING HALL

TETTEGOUCHE CAMP

NORTH ELEVATION

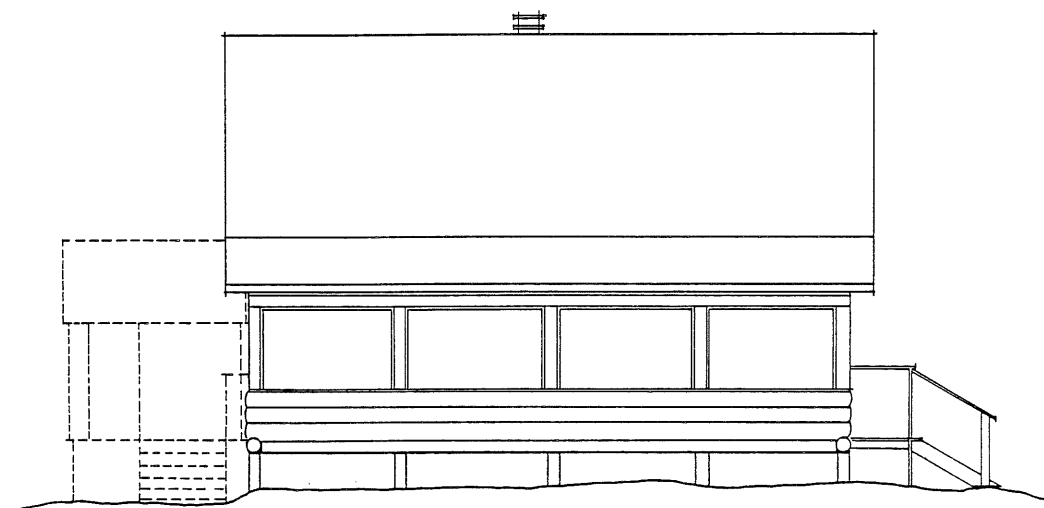
SKETCH 13



SCALE IN FEET
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CABIN A
TETTEGOUCHE CAMP

FLOOR PLAN
SKETCH 14



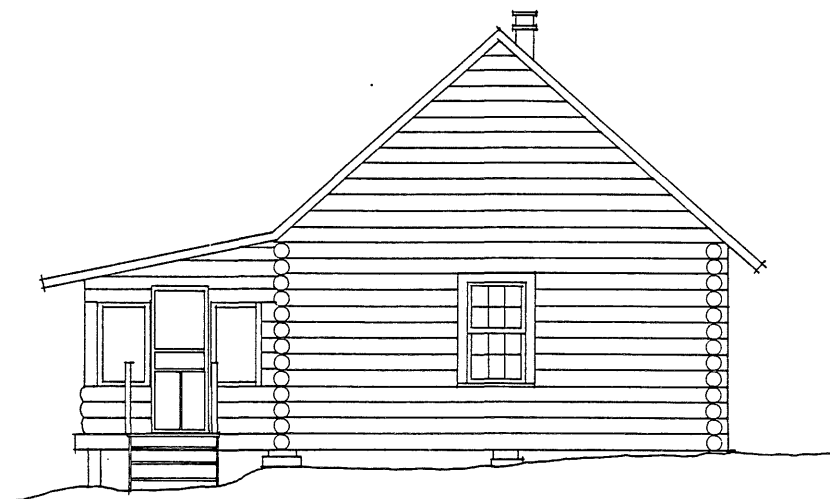
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CABIN A
TETTEGOUCHE CAMP

EAST ELEVATION
SKETCH 15



SCALE IN FEET

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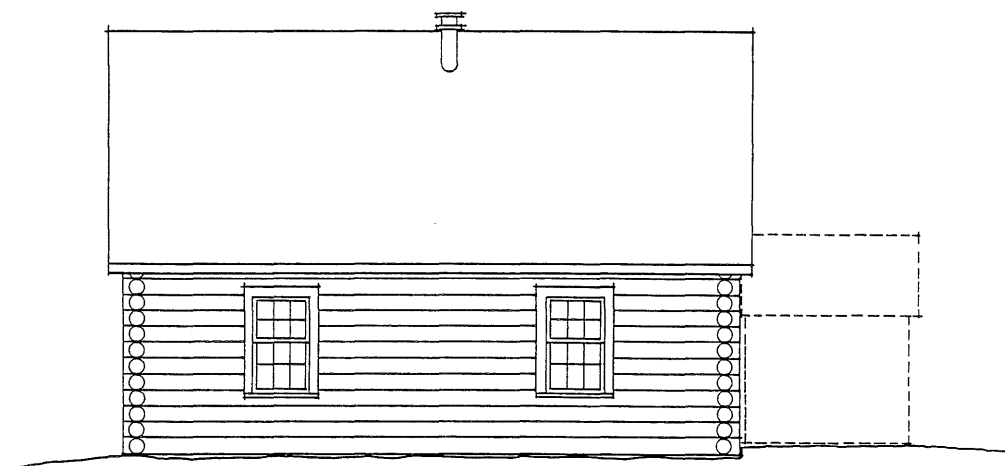


CABIN A

TETTEGOUCHE CAMP

NORTH ELEVATION

SKETCH 16



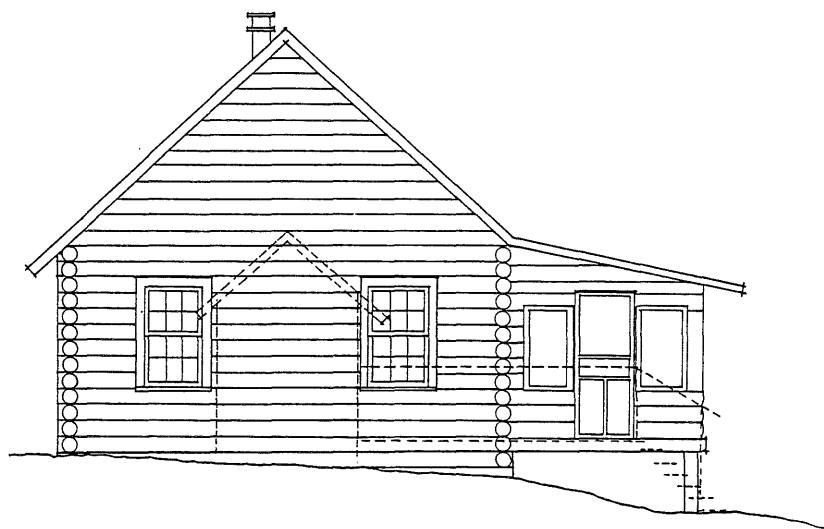
SCALE IN FEET

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CABIN A
TETTEGOUCHE CAMP

WEST ELEVATION
SKETCH 17



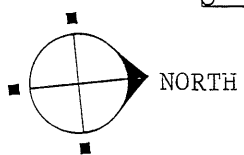
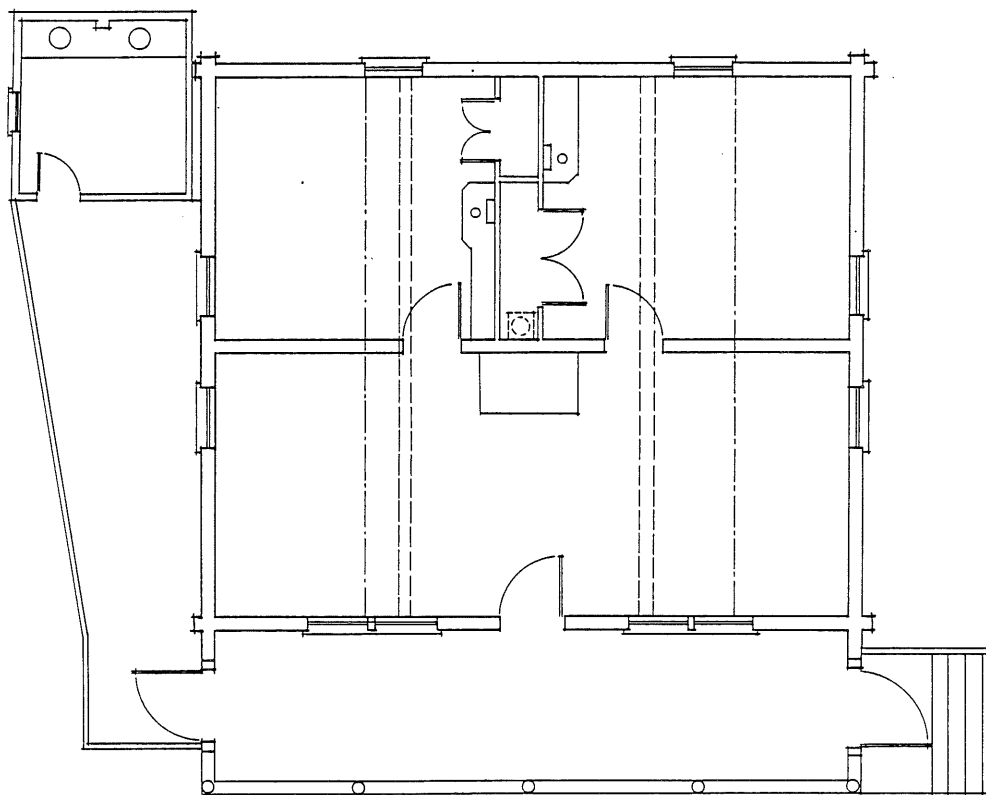
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CABIN A
TETTEGOUCHE CAMP

SOUTH ELEVATION
SKETCH 18



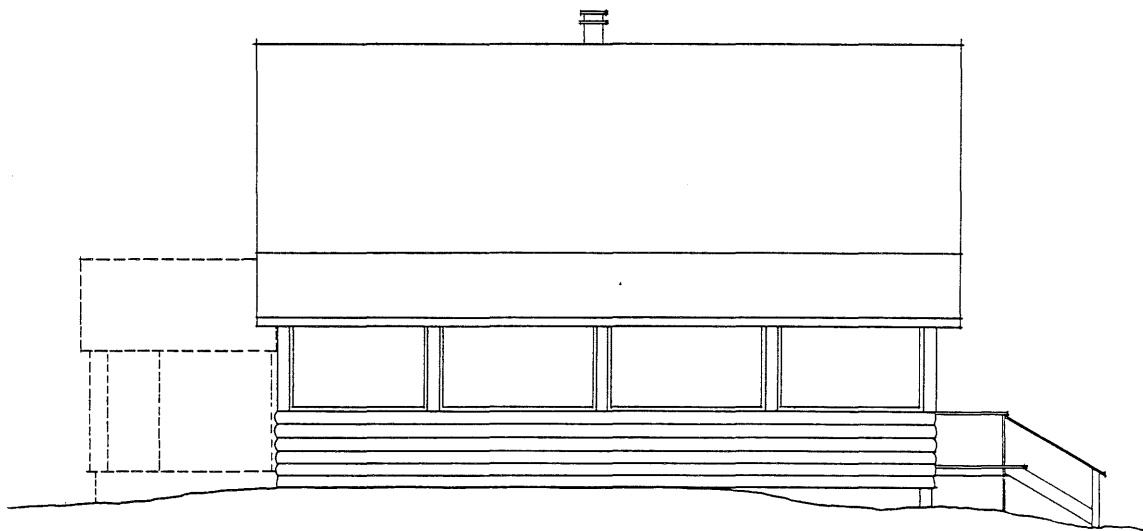
SCALE IN FEET

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CABIN B
TETTEGOUCHE CAMP

FLOOR PLAN
SKETCH 19



SCALE IN FEET

0 2 4 6 8 10

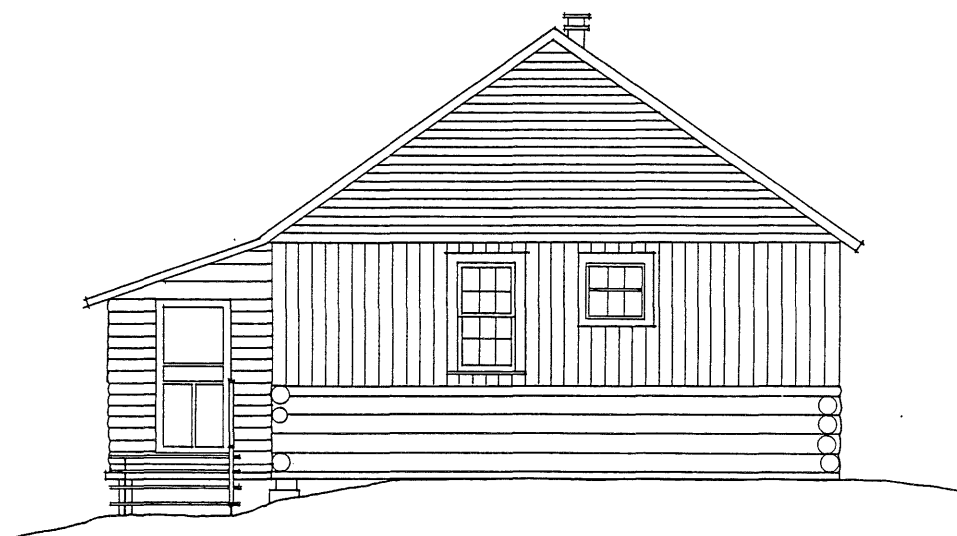


CABIN B

TETTEGOUCHE CAMP

EAST ELEVATION

SKETCH 20



SCALE IN FEET

0 2 4 6 8 10

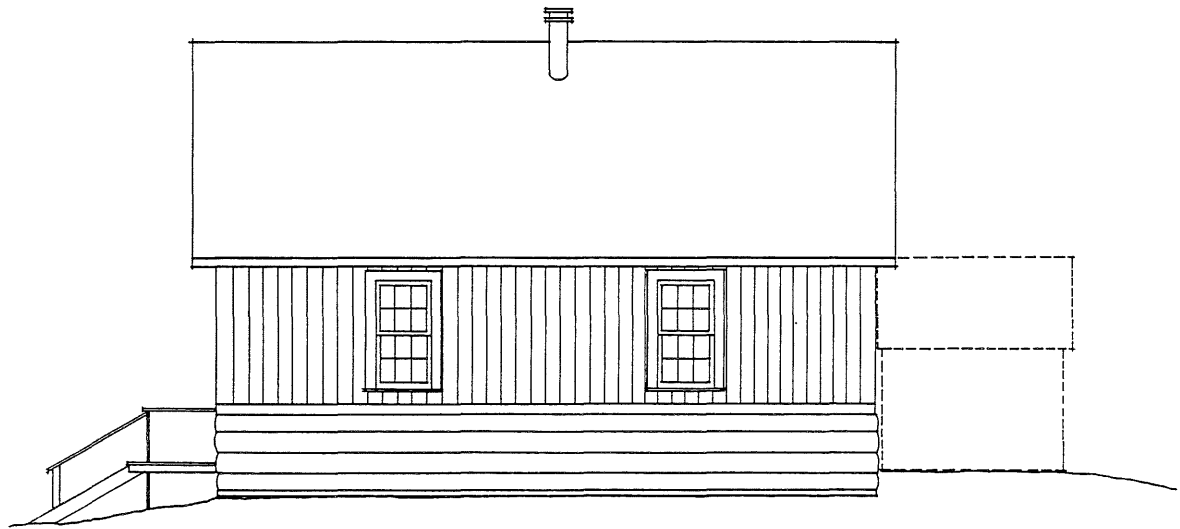


CABIN B

TETTEGOUCHE CAMP

NORTH ELEVATION

SKETCH 21



SCALE IN FEET

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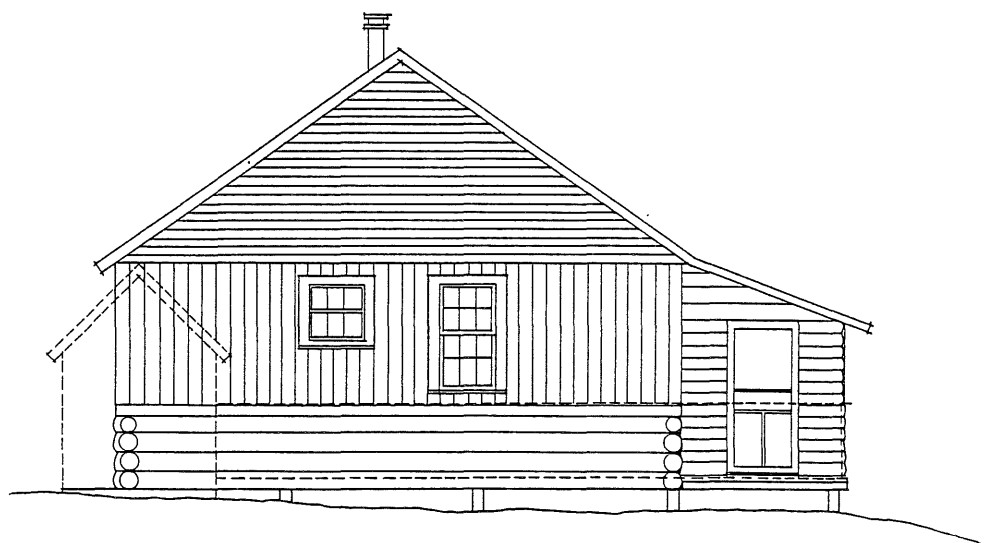


CABIN B

TETTEGOUCHE CAMP

WEST ELEVATION

SKETCH 22



SCALE IN FEET

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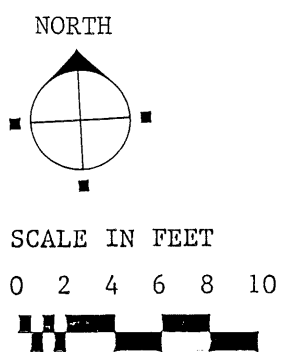
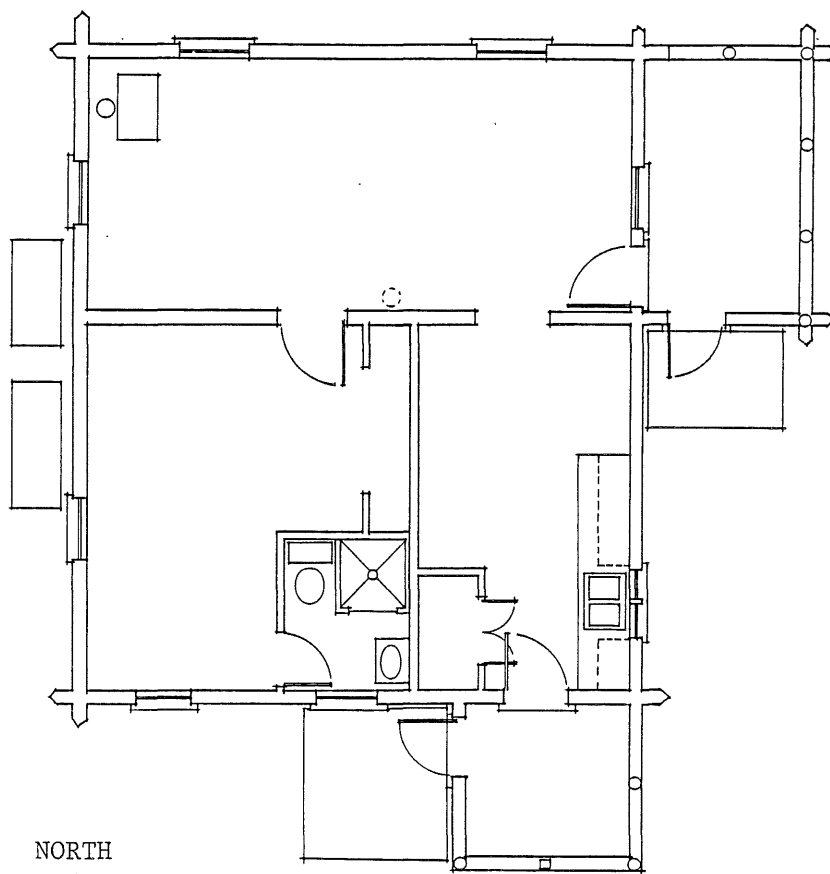


CABIN B

TETTEGOUCHE CAMP

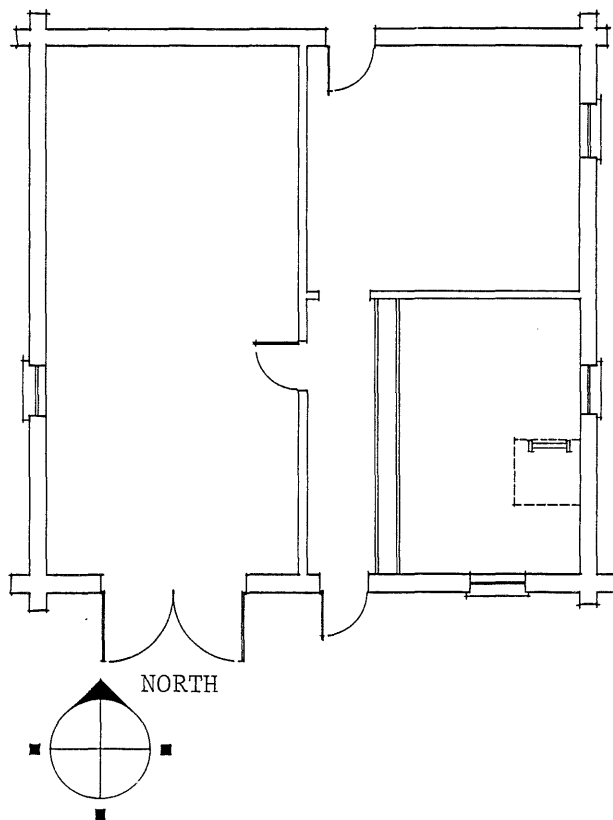
SOUTH ELEVATION

SKETCH 23



CABIN C
TETTEGOUCHE CAMP

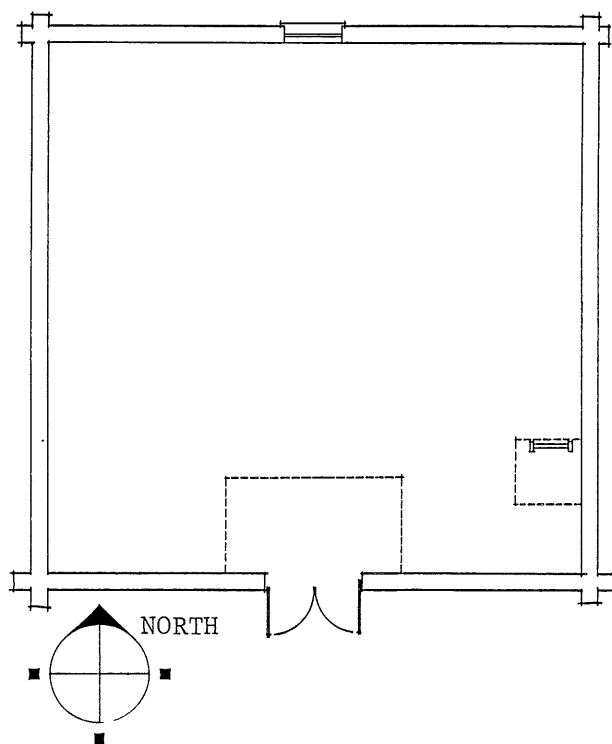
FLOOR PLAN
SKETCH 24



SCALE IN FEET
0 2 4 6 8 10

BARN
TETTEGOUCHE CAMP

FIRST FLOOR PLAN
SKETCH 25



SCALE IN FEET

0 2 4 6 8 10

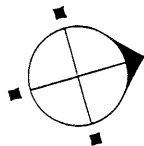
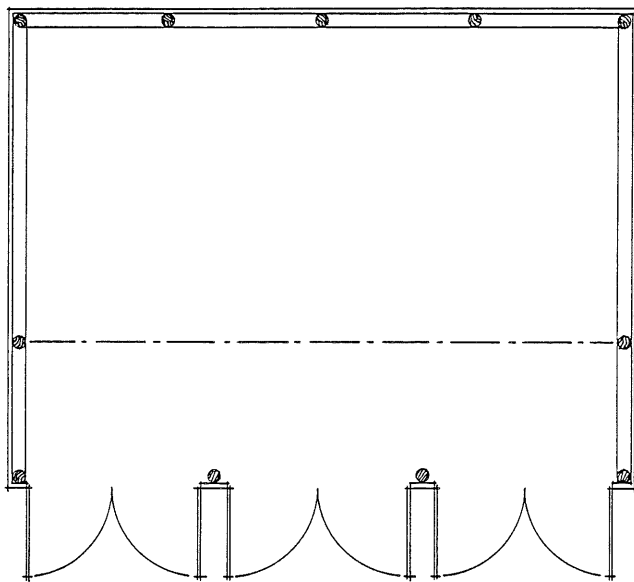


BARN

TETTEGOUCHE CAMP

SECOND FLOOR PLAN

SKETCH 26



NORTH

SCALE IN FEET

0 2 4 6 8 10

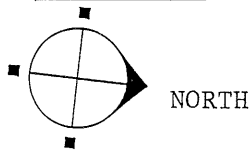
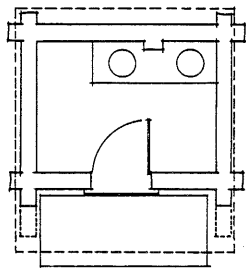


GARAGE

TETTEGOUCHE CAMP

FLOOR PLAN

SKETCH 27



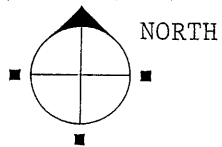
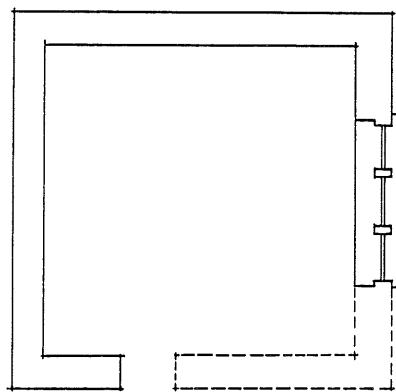
SCALE IN FEET

0 2 4 6 8 10



OUTHOUSE
TETTEGOUCHE CAMP

FLOOR PLAN
SKETCH 28



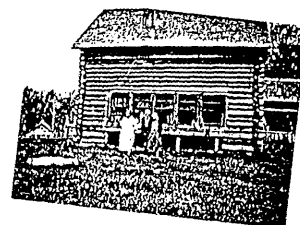
SCALE IN FEET

0 2 4 6 8 10



FILERS' SHACK
TETTEGOUCHE CAMP

FLOOR PLAN
SKETCH 29



HISTORIC VIEWS

INDEX OF HISTORIC VIEWS

<u>Number</u>	<u>Description</u>
Map M1	Map of Teteagouche Club Camp, ca. 1911. Source: Minnesota Department of Natural Resources Files.
Photo H1	Main Lodge, Breezeway, Kitchen/Dining Hall: Looking Northeast, ca. 1930s-1940s. Source: Courtesy of John deLaittre.
Photo H2	Main Lodge: Looking West, ca. 1930s-1940s. Source: Courtesy of John deLaittre.
Photo H3	Main Lodge, Breezeway: Looking Northeast, ca. 1930s-1940s. Source: Courtesy of John deLaittre.
Photo H4	Main Lodge: Interior Looking Southwest, ca. 1970s. Source: Glen Silker, Photographer. Courtesy of John deLaittre.
Photo H5	Main Lodge: Interior Looking Northeast, ca. 1960s. Source: Courtesy of Maria Ostman.
Photo H6	Main Lodge: Interior Looking Southwest, 1961. Source: Courtesy of Maria Ostman.
Photo H7	Main Lodge: Interior Looking Northeast, 1961. Source: Courtesy of Maria Ostman.
Photo H8	Main Lodge: "Northeast End Veranda" (noted on back), 1967. Source: Courtesy of Maria Ostman.
Photo H9	Kitchen/Dining Hall: Looking Northeast, ca 1930s-1940s. Source: Courtesy of John deLaittre.
Photo H10	Clement K. Quinn, Sled Dogs, Kitchen/Dining Hall: Looking Northeast, ca. 1960s. Source: Courtesy of Maria Ostman.
Photo H11	Kitchen/Dining Hall: Looking East, ca. 1970s. Source: Glen Silker, Photographer. Courtesy of John deLaittre.
Photo H12	Kitchen/Dining Hall: Dining Hall Interior Looking Northwest, ca. 1970s. Source: Glen Silker, Photographer. Courtesy of John deLaittre.

Photo H13 Kitchen/Dining Hall: Kitchen Interior Looking Northwest,
 ca. 1970s.
 Source: Glen Silker, Photographer.
 Courtesy of John deLaittre.

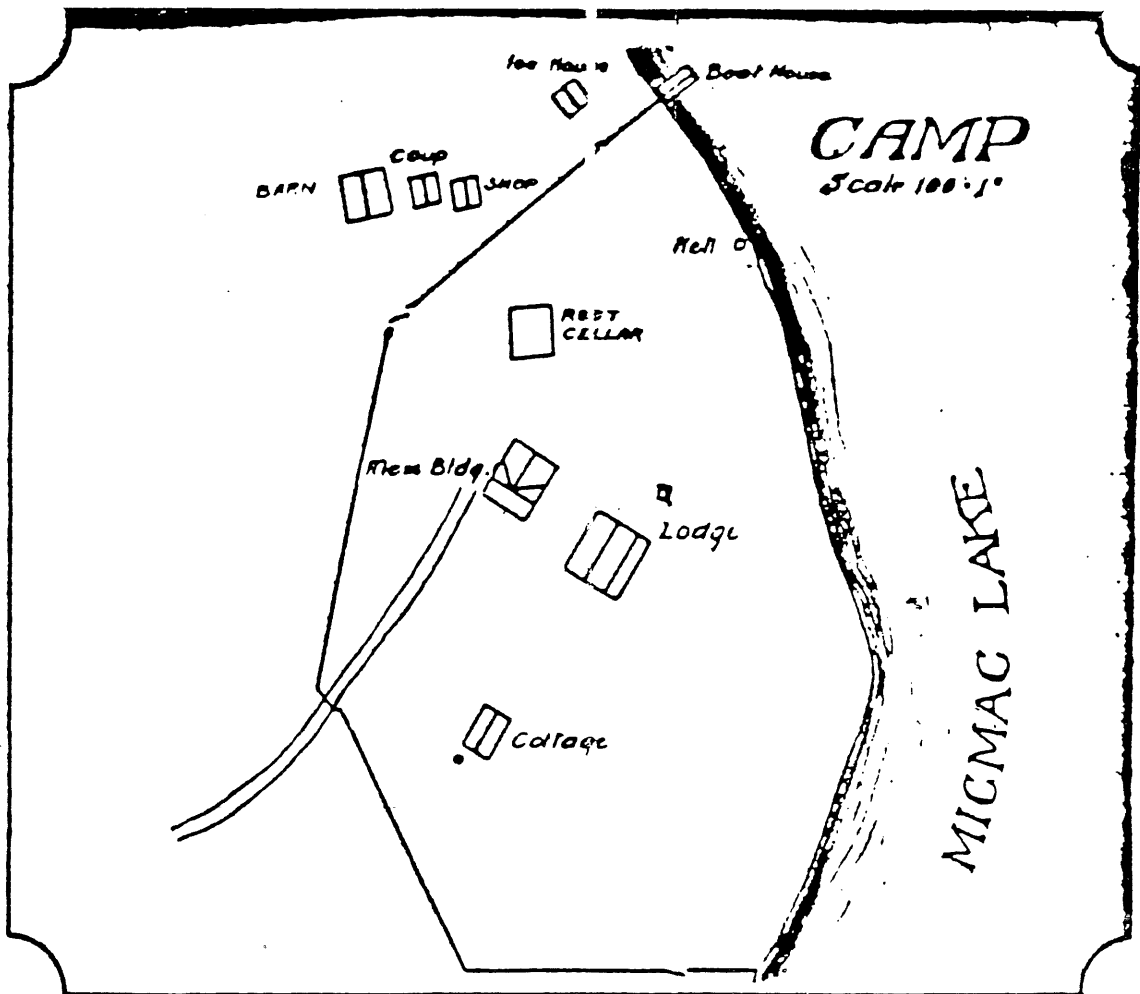
Photo H14 Cabin B: Interior Looking North, ca. 1970s.
 Source: Glen Silker, Photographer
 Courtesy of John deLaittre.

Photo H15 Cabin C: Looking Northwest, ca. 1960s.
 Source: Courtesy of Maria Ostman.

Photo H16 Barn, Filers' Shack, Shop (demolished): Looking North, ca.
 1930s-1940s.
 Source: Courtesy of John deLaittre.

Photo H17 Barn, Filers' Shack: Looking North, ca. 1930s-1940s.
 Source: Courtesy of John deLaittre.

Photo H18 Barn, Filers' Shack: Looking North, ca. 1930s-1940s.
 Source: Courtesy of John deLaittre.



Map M1



Photo H1



Photo H2

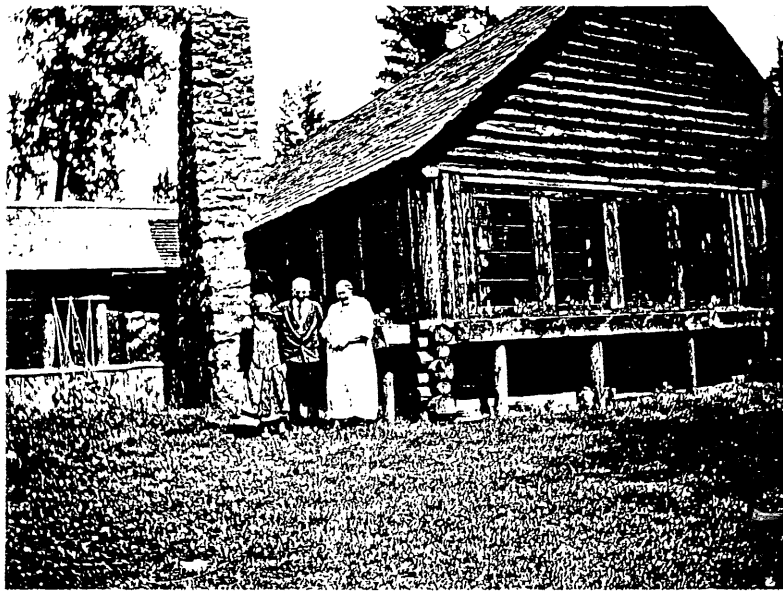


Photo H3

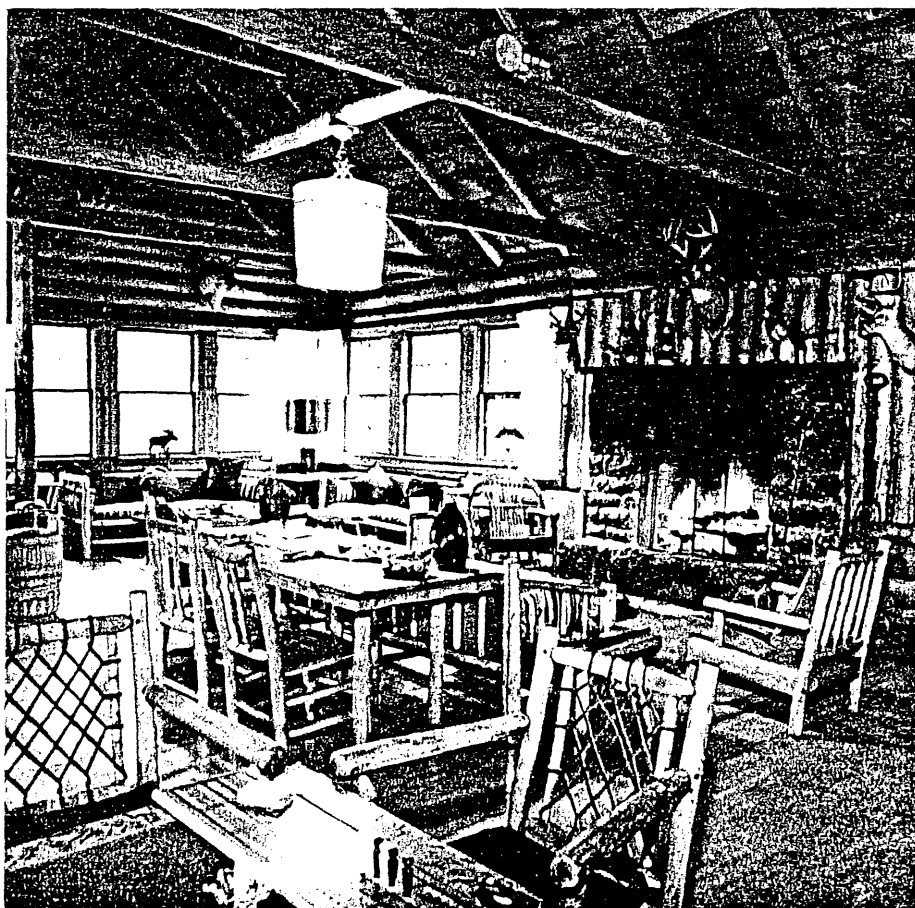


Photo H4



Photo H5

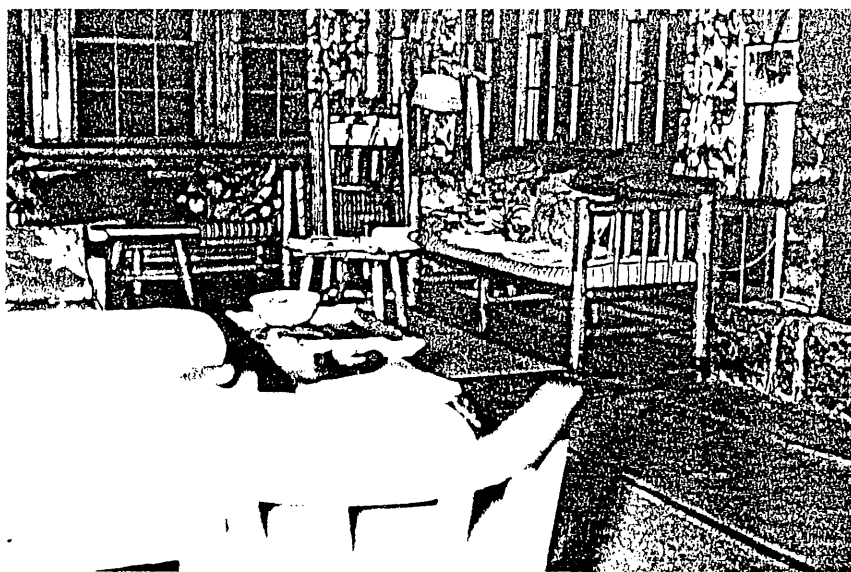


Photo H6



Photo H7



Photo H8



Photo H9



Photo H10

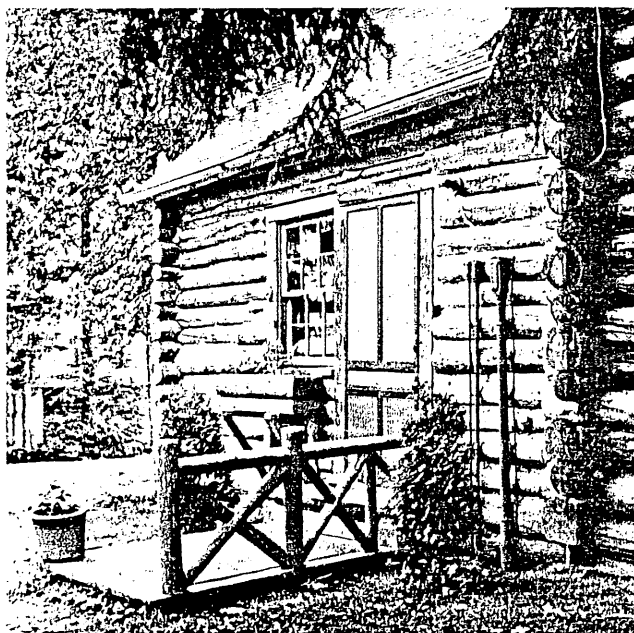


Photo H11

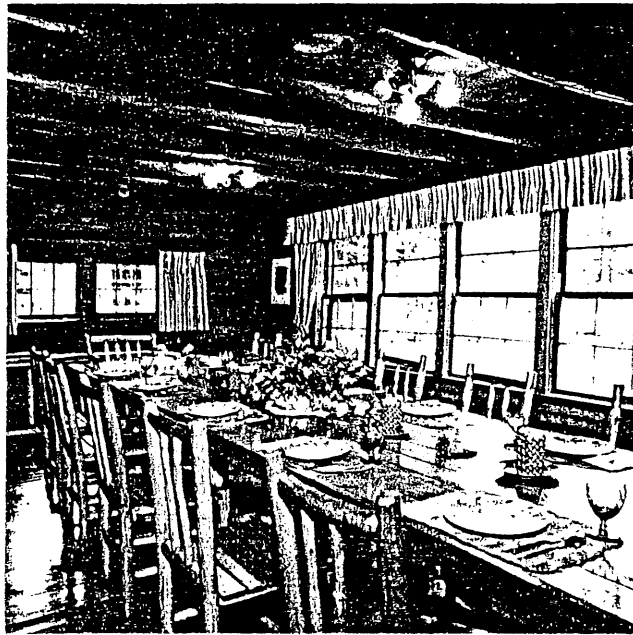


Photo H12



Photo H13



Photo H14

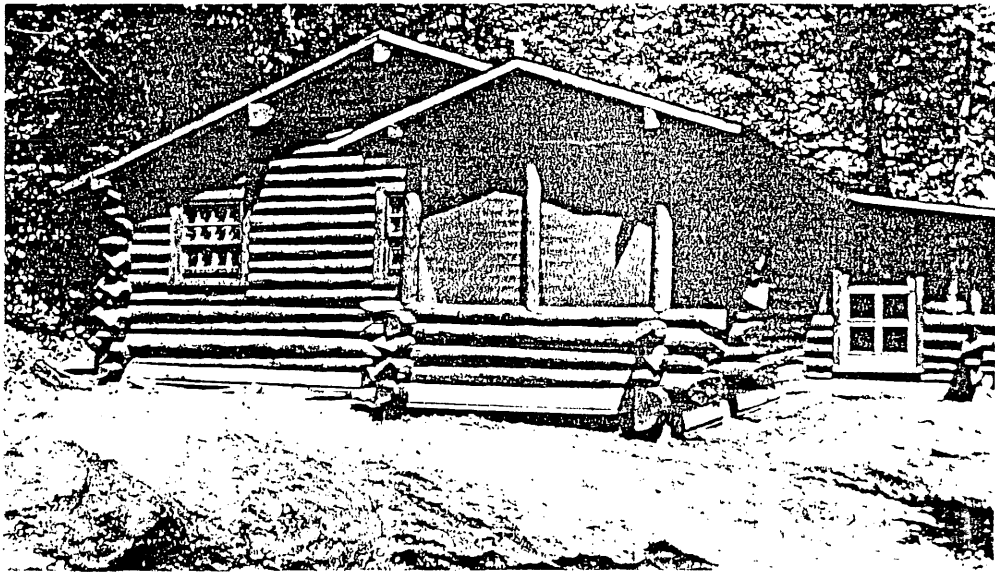


Photo H15



Photo H16

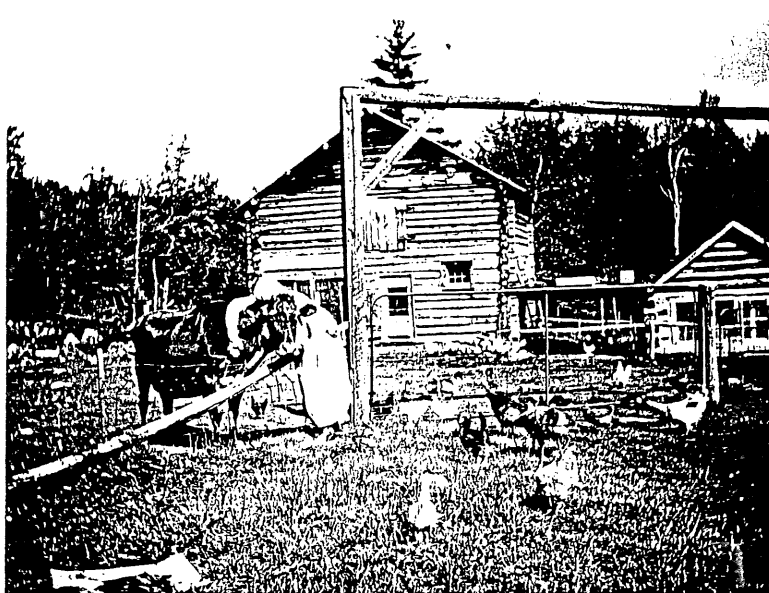


Photo H17



Photo H18

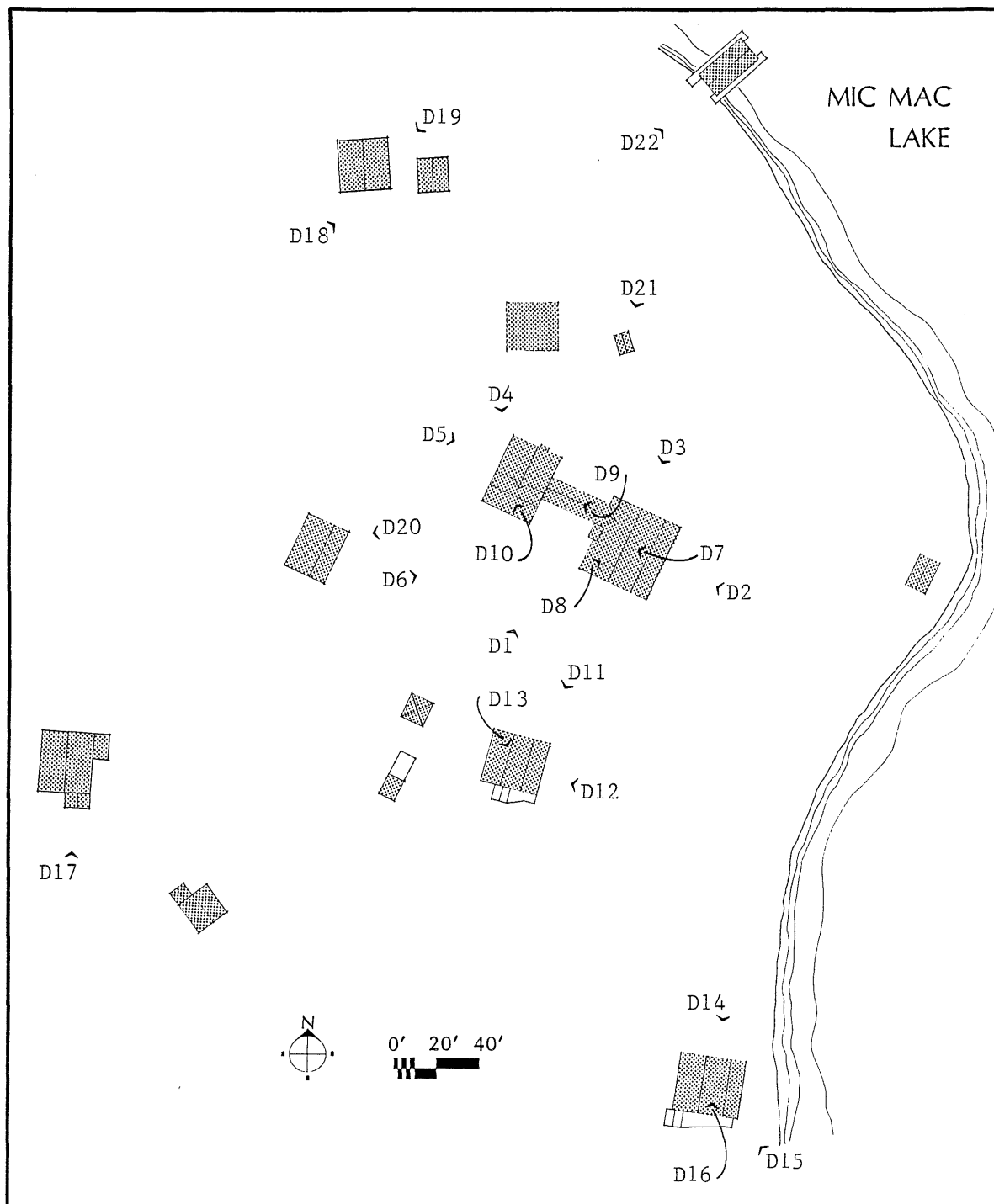


DOCUMENTARY PHOTOGRAPHS

INDEX OF DOCUMENTARY PHOTOGRAPHS

Photographer: Bert Levy

<u>Number</u>	<u>Description</u>
Photo D1	Main Lodge, Breezeway, Kitchen/Dining Hall: Looking Northeast
Photo D2	Main Lodge: Looking Northwest
Photo D3	Main Lodge, Breezeway: Looking Southwest
Photo D4	Kitchen/Dining Hall: Looking South
Photo D5	Kitchen/Dining Hall: Looking Southeast
Photo D6	Main Lodge, Breezeway: Looking East
Photo D7	Main Lodge: Interior Looking Northwest
Photo D8	Main Lodge: Interior Looking Northeast
Photo D9	Breezeway: Interior Looking Northwest
Photo D10	Kitchen/Dining Hall: Dining Hall Interior Looking Northwest
Photo D11	Cabin A: Looking Southwest
Photo D12	Cabin A: Looking West
Photo D13	Cabin A: Interior Looking Southeast
Photo D14	Cabin B: Looking South
Photo D15	Cabin B: Looking Northwest
Photo D16	Cabin B: Interior Looking North
Photo D17	Cabin C: Looking North
Photo D18	Barn and Filers' Shack: Looking Northeast
Photo D19	Barn and Filers' Shack: Looking Southwest
Photo D20	Garage: Looking West
Photo D21	Outhouse: Looking South
Photo D22	Boat Shelter: Looking Northeast



KEY TO DOCUMENTARY PHOTOGRAPHS

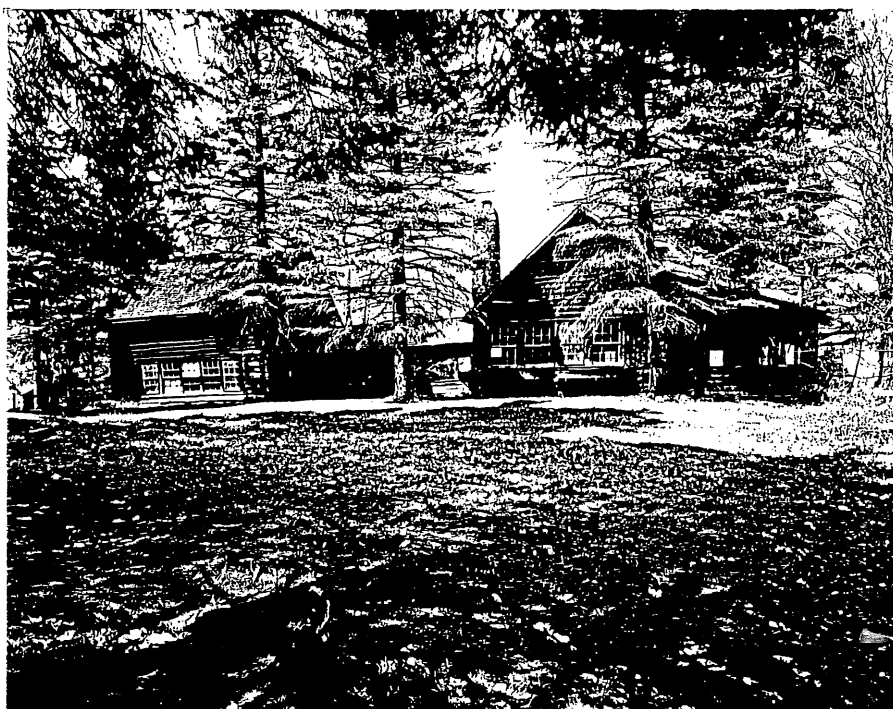


Photo D1



Photo D2



Photo D3



Photo D4



Photo D5



Photo D6

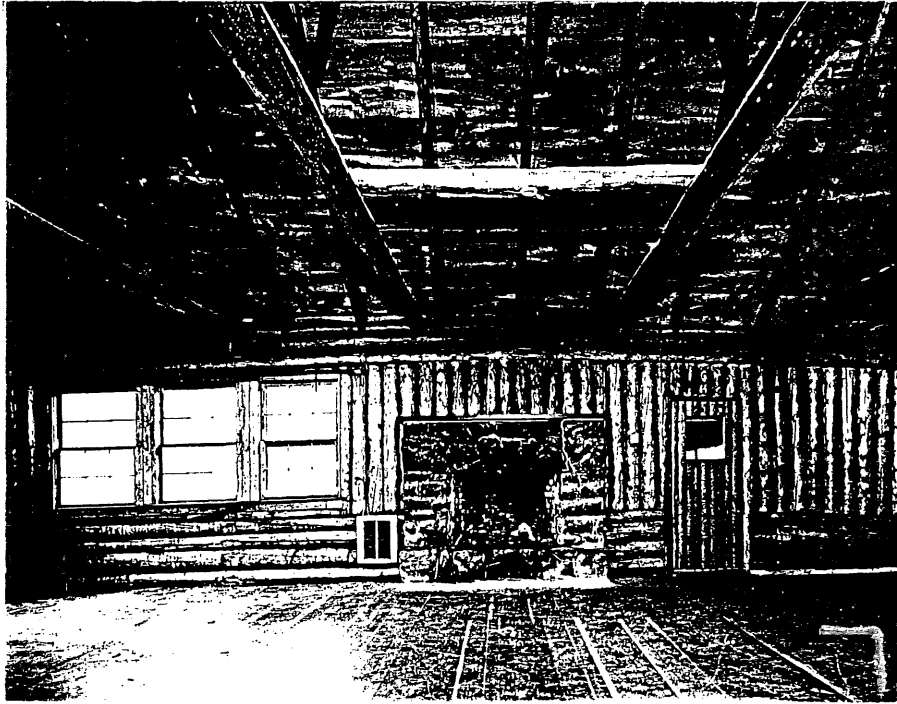


Photo D7



Photo D8



Photo D9

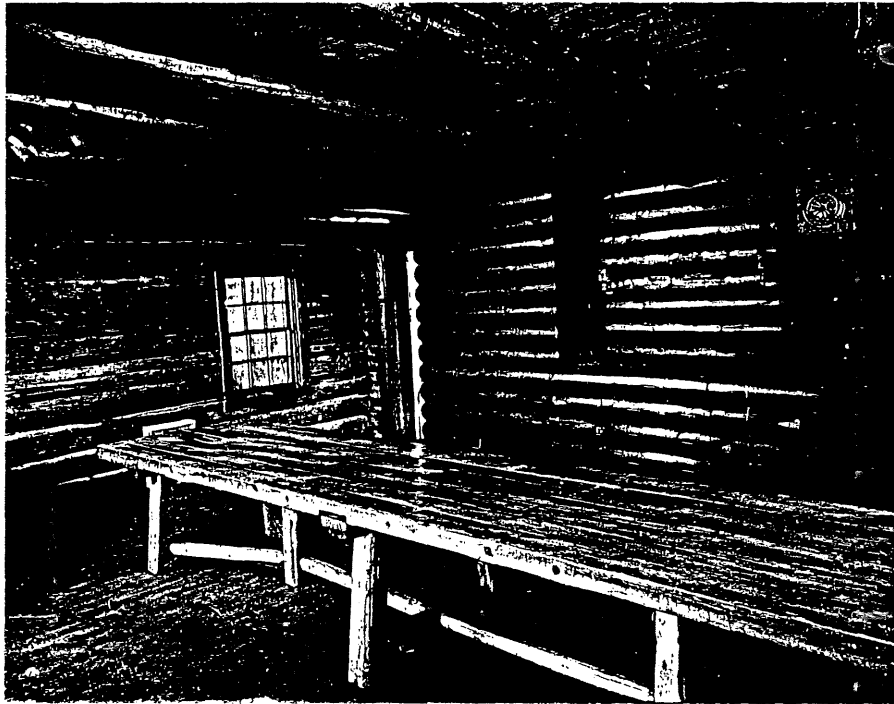


Photo D10



Photo D11

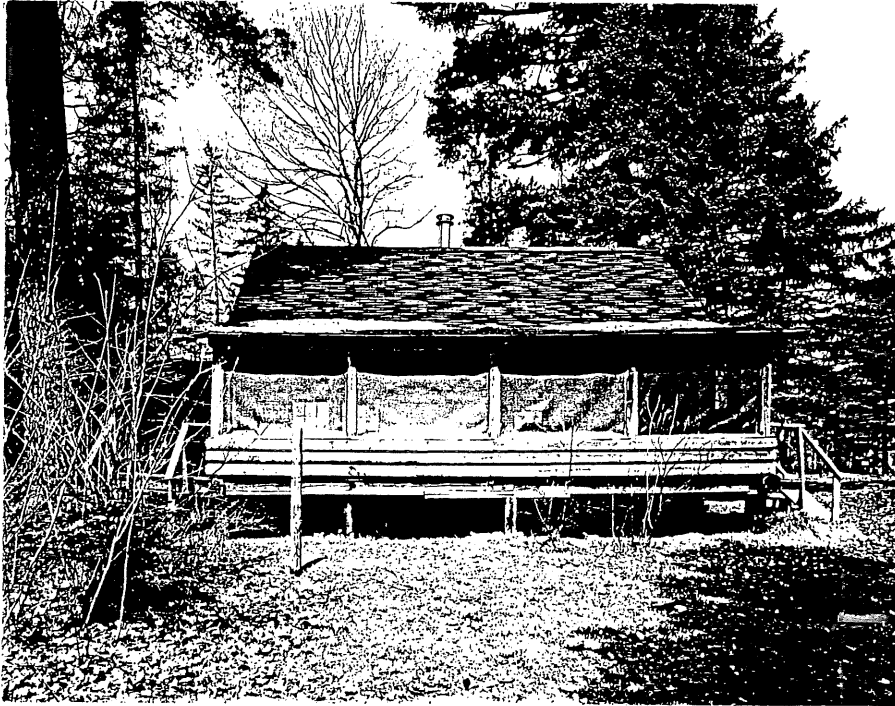


Photo D12



Photo D13



Photo D14



Photo D15



Photo D16



Photo D17



Photo D18



Photo D19



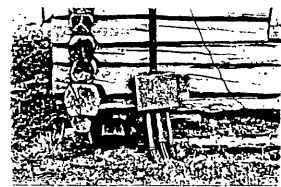
Photo D20



Photo D21



Photo D22



CONDITIONS SURVEY PHOTOGRAPHS

CONDITIONS SURVEY PHOTOGRAPHIC LOG

Date: April, 1989

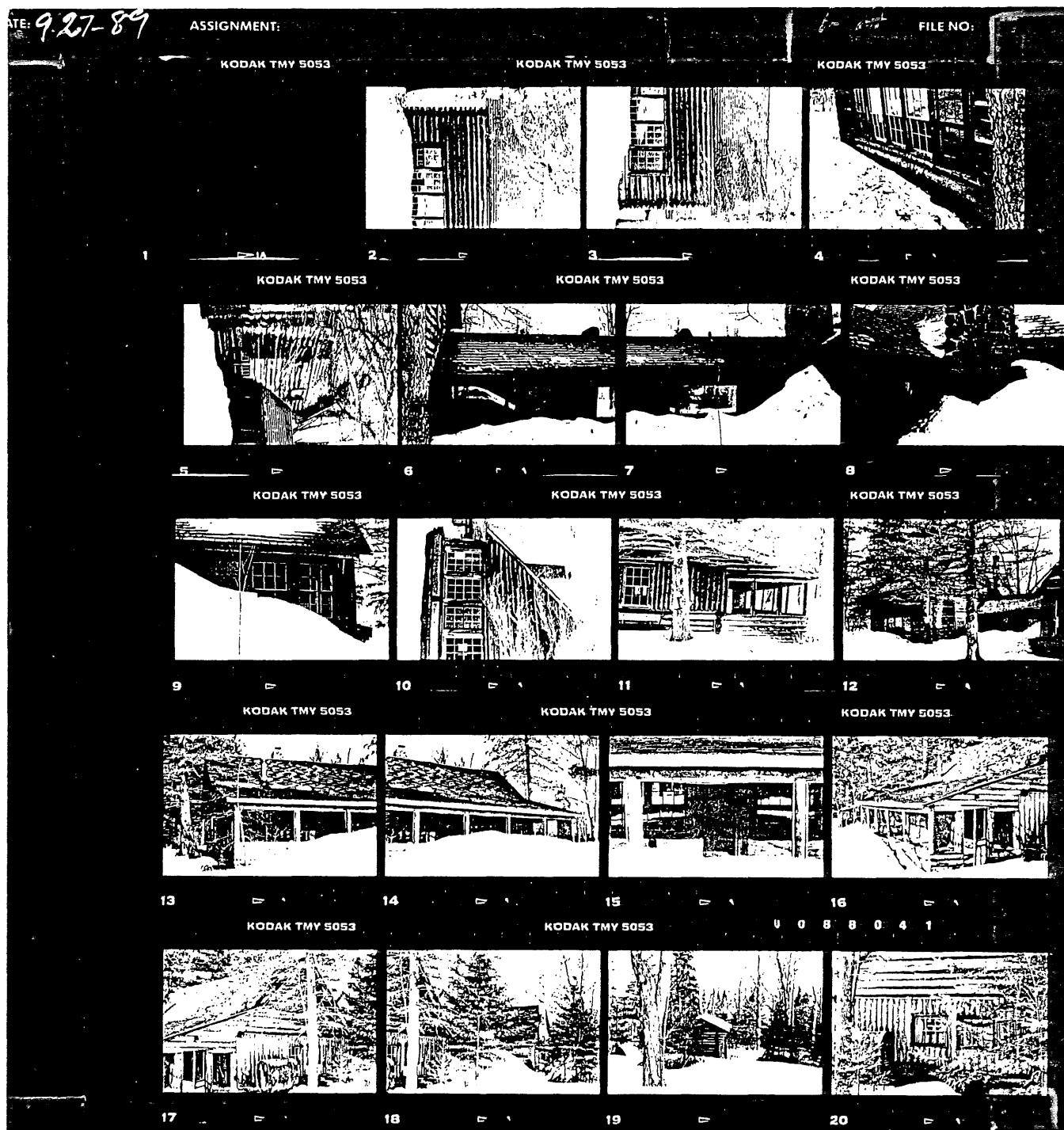
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<u>Frame Number</u>	<u>Description</u>
Frame 2:	Kitchen/Dining Hall: Looking Northeast
Frame 3:	Kitchen/Dining Hall: Looking Northeast
Frame 4:	Kitchen/Dining Hall: Looking Northwest
Frame 5:	Kitchen/Dining Hall: Looking Northwest
Frame 6:	Breezeway: Looking Northeast
Frame 7:	Breezeway: Looking Northeast
Frame 8:	Breezeway, Main Lodge: Looking East
Frame 9:	Main Lodge: Looking Southeast
Frame 10:	Main Lodge: Looking North
Frame 11:	Main Lodge: Looking Northeast
Frame 12:	Kitchen/Dining Hall, Breezeway: Looking Northwest
Frame 13:	Main Lodge: Looking Northwest
Frame 14:	Main Lodge: Looking Northwest
Frame 15:	Main Lodge: Looking Northwest
Frame 16:	Main Lodge: Looking Southwest
Frame 17:	Main Lodge: Looking Southwest
Frame 18:	Main Lodge, Kitchen/Dining Hall: Looking West
Frame 19:	Outhouse: Looking Northwest
Frame 20:	Main Lodge: Looking Southwest
Frame 21:	Main Lodge: Looking Southwest
Frame 22:	Breezeway, Kitchen/Dining Hall: Looking West
Frame 23:	Breezeway, Main Lodge: Looking Southwest

Frame 24: Breezeway, Main Lodge: Looking South
Frame 25: Kitchen/Dining Hall: Looking Southwest
Frame 26: Kitchen/Dining Hall: Looking Southwest
Frame 27: Kitchen/Dining Hall: Looking Southwest
Frame 28: Kitchen/Dining Hall: Looking Southwest
Frame 29: Kitchen/Dining Hall: Looking South
Frame 30: Kitchen/Dining Hall: Looking Southeast
Frame 31: Kitchen/Dining Hall: Looking Southeast
Frame 32: Kitchen/Dining Hall: Looking Southeast
Frame 33: Kitchen/Dining Hall: Looking Southeast
Frame 34: Kitchen/Dining Hall: Looking Southeast
Frame 35: Kitchen/Dining Hall: Looking Southeast
Frame 36: Kitchen/Dining Hall: Looking Northeast

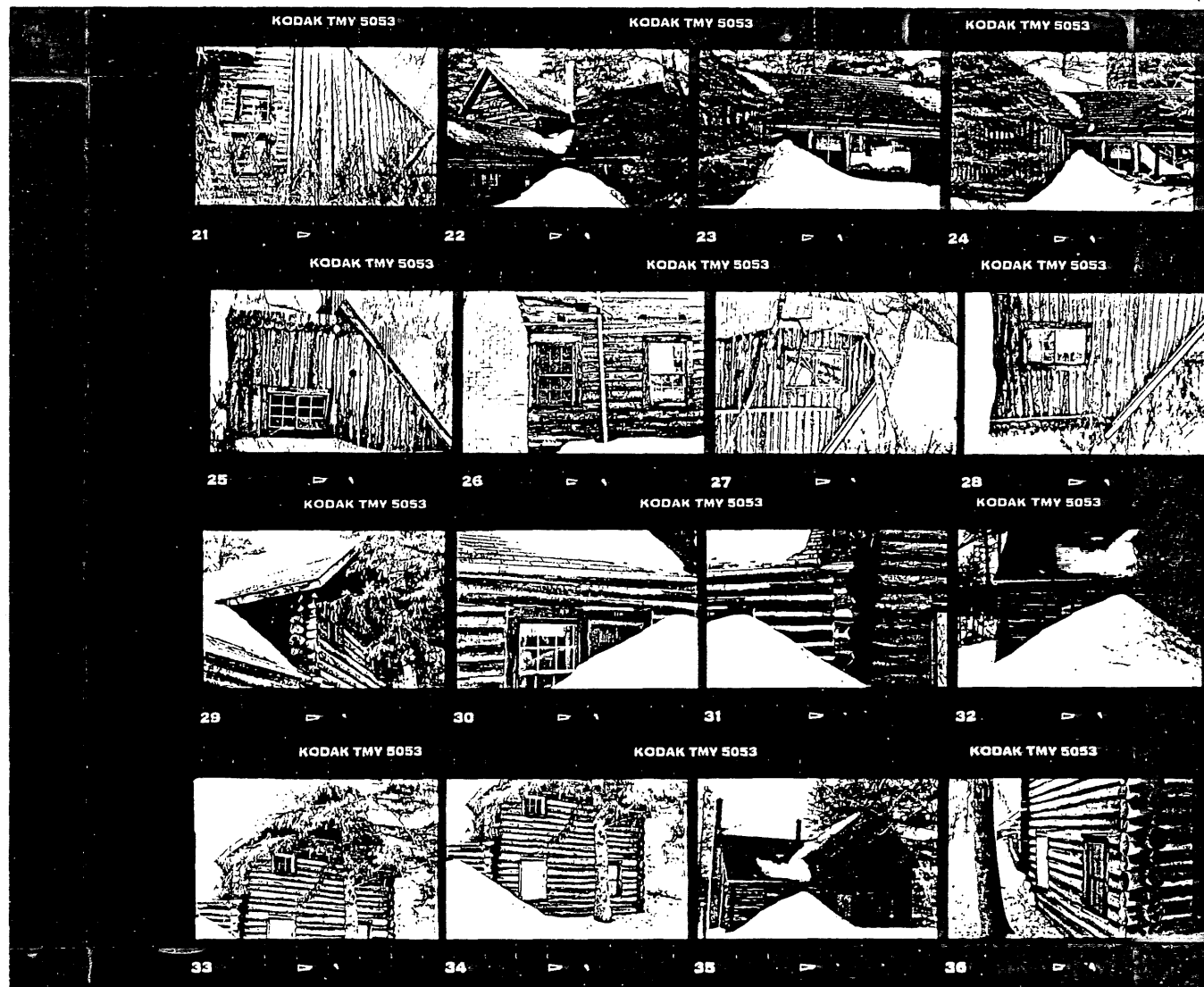
Conditions Survey Contact Photograph

Roll Number 1



Conditions Survey Contact Photograph

Roll Number 1



CONDITIONS SURVEY PHOTOGRAPHIC LOG

Date: April, 1989

Roll Number: 2

<u>Frame Number</u>	<u>Description</u>
Frame 1:	Sauna: Looking East
Frame 2:	Sauna: Looking Northeast
Frame 3:	Sauna: Looking East
Frame 4:	Sauna: Looking South
Frame 5:	Sauna: Looking South
Frame 6:	Boat Shelter: Looking Northwest
Frame 7:	Boat Shelter: Looking East
Frame 8:	Boat Shelter: Looking East
Frame 9:	Boat Shelter: Looking Northeast
Frame 10:	Outhouse: Looking South
Frame 11:	Outhouse: Looking South
Frame 12:	Outhouse: Looking South
Frame 13:	Outhouse: Looking North
Frame 14:	Outhouse: Looking North
Frame 15:	Filers' Shack: Looking North
Frame 16:	Filers' Shack: Looking Northeast
Frame 17:	Filers' Shack: Looking Northeast
Frame 18:	Filers' Shack: Looking South
Frame 19:	Filers' Shack: Looking South
Frame 20:	Filers' Shack: Looking West
Frame 21:	Filers' Shack: Looking West
Frame 26:	Barn: Looking South

Frame 27: Barn: Looking Southeast
Frame 28: Barn: Looking Southeast
Frame 29: Barn: Looking Northeast
Frame 30: Barn: Looking Northeast
Frame 31: Barn: Looking North
Frame 32: Barn: Looking North
Frame 33: Barn: Looking North
Frame 34: Barn: Looking Northwest
Frame 35: Barn: Looking Northwest

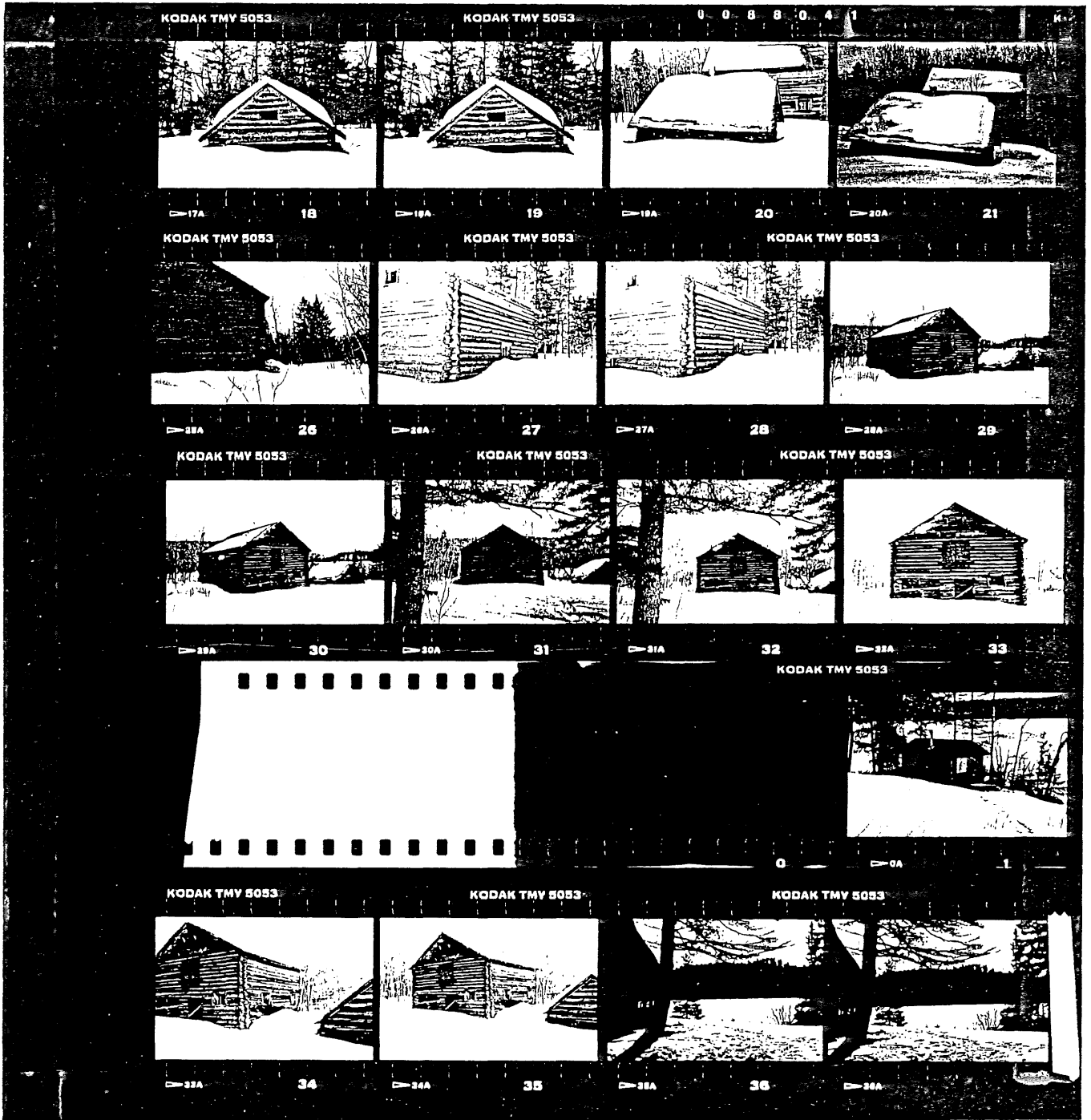
Conditions Survey Contact Photograph

Roll Number 2



Conditions Survey Contact Photograph

Roll Number 2



CONDITIONS SURVEY PHOTOGRAPHIC LOG

Date: April, 1989

Roll Number: 3

<u>Frame Number</u>	<u>Description</u>
Frame 1:	Main Lodge: Porch Interior Looking Southwest
Frame 2:	Main Lodge: Porch Interior Looking Northeast
Frame 3:	Main Lodge: Interior Looking Southwest
Frame 4:	Main Lodge: Interior Looking Northwest
Frame 5:	Main Lodge: Interior Looking South
Frame 6:	Breezeway: Interior Looking Northwest
Frame 7:	Breezeway: Interior Looking Southeast
Frame 8:	Kitchen/Dining Hall: Dining Hall Interior Looking Northeast
Frame 9:	Kitchen/Dining Hall: Dining Hall Interior Looking Northeast
Frame 10:	Kitchen/Dining Hall: Dining Hall Interior Looking Southwest
Frame 11:	Kitchen/Dining Hall: Kitchen Interior Looking Northwest
Frame 12:	Kitchen/Dining Hall: Kitchen Interior Looking Southeast
Frame 13:	Kitchen/Dining Hall: Second Floor Interior Above Dining Hall Looking Southwest
Frame 14:	Kitchen/Dining Hall: Second Floor Interior Above Dining Hall Looking South
Frame 15:	Kitchen/Dining Hall: Second Floor Interior Above Kitchen Looking Northeast
Frame 16:	Kitchen/Dining Hall: Second Floor Interior Above Kitchen Looking Southeast
Frame 17:	Kitchen/Dining Hall: Second Floor Interior Above Kitchen Looking Southwest
Frame 18:	Kitchen/Dining Hall: Second Floor Interior Above Dining Hall Looking South
Frame 19:	Kitchen/Dining Hall: Dining Hall Interior Looking Northeast

Frame 20: Main Lodge: Interior Looking North
Frame 21: Main Lodge: Interior Looking Northeast
Frame 22: Cabin A: Porch Interior Looking Southwest
Frame 23: Cabin A: Porch Interior Looking North
Frame 24: Cabin A: South Room Interior Looking Southeast
Frame 25: Cabin A: Interior Looking in Northeast
Frame 26: Cabin A: Interior Looking Southwest
Frame 27: Cabin A: Porch Interior Looking South
Frame 28: Garage: Looking Southwest
Frame 29: Garage: Looking South
Frame 30: Garage: Looking North
Frame 31: Cabin D: Looking South
Frame 32: Cabin D: Looking Southeast
Frame 33: Cabin D: Looking Northeast
Frame 34: Cabin C: Looking North
Frame 35: Cabin C: Looking Northwest
Frame 36: Cabin C: Looking Northwest

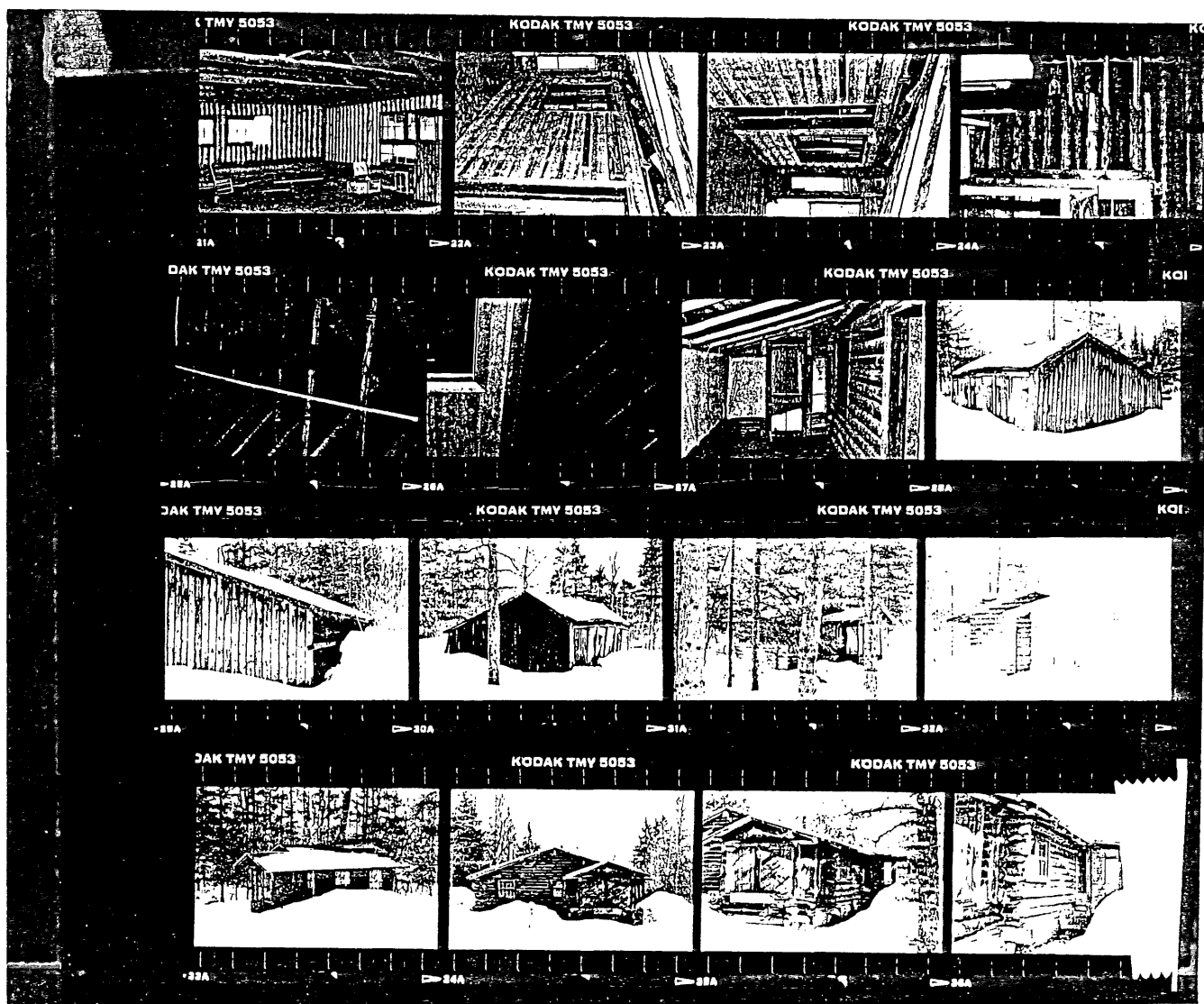
Conditions Survey Contact Photograph

Roll Number 3



Conditions Survey Contact Photograph

Roll Number 3



CONDITIONS SURVEY PHOTOGRAPHIC LOG

Date: April, 1989

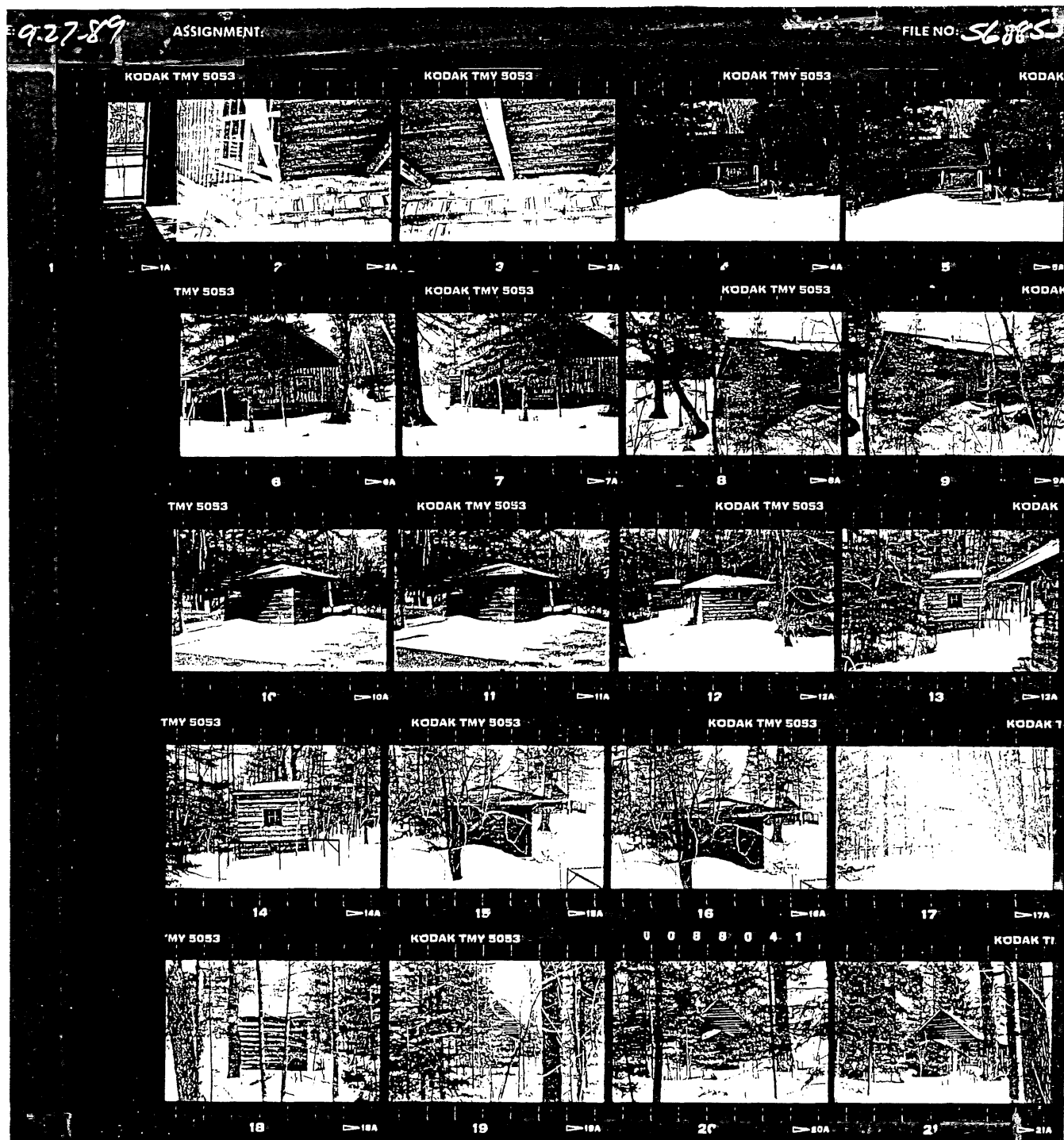
Roll Number: 4

<u>Frame Number</u>	<u>Description</u>
Frame 3:	Cabin B: Porch Interior Looking Northwest
Frame 4:	Cabin B: Looking Northwest
Frame 5:	Cabin B: Looking Northwest
Frame 6:	Cabin B: Looking Southwest
Frame 7:	Cabin B: Looking Southwest
Frame 8:	Cabin B: Looking Southeast
Frame 9:	Cabin B: Looking Southeast
Frame 10:	Bath House: Looking West
Frame 11:	Bath House: Looking West
Frame 12:	Bath House, Dog House: Looking Southwest
Frame 13:	Dog House, Bath House: Looking Southwest
Frame 14:	Dog House: Looking Southwest
Frame 15:	Bath House: Looking Northeast
Frame 16:	Bath House: Looking Northeast
Frame 17:	Dog House: Looking Southeast
Frame 18:	Dog House: Looking Northeast
Frame 19:	Cabin A: Looking Northeast
Frame 20:	Cabin A: Looking Northeast
Frame 21:	Cabin A: Looking North
Frame 22:	Cabin A: Looking North
Frame 23:	Cabin A: Looking Northwest
Frame 24:	Cabin A: Looking Northwest

Frame 25: Cabin A: Looking Southwest
Frame 26: Cabin A: Looking Southwest
Frame 27: Cabin A: Looking Southwest
Frame 28: Cabin A: Looking Southwest
Frame 29: Cabin A: Looking Southeast
Frame 30: Cabin A: Looking Southeast
Frame 31: Cabin A: Looking Southeast
Frame 32: Cabin A: Looking East
Frame 33: Cabin A: Looking East
Frame 34: Kitchen/Dining Hall: Looking Northeast
Frame 35: Kitchen/Dining Hall: Looking Northeast
Frame 36: Main Lodge, Mic Mac Lake: Looking East
Frame 37: Main Lodge, Mic Mac Lake: Looking East

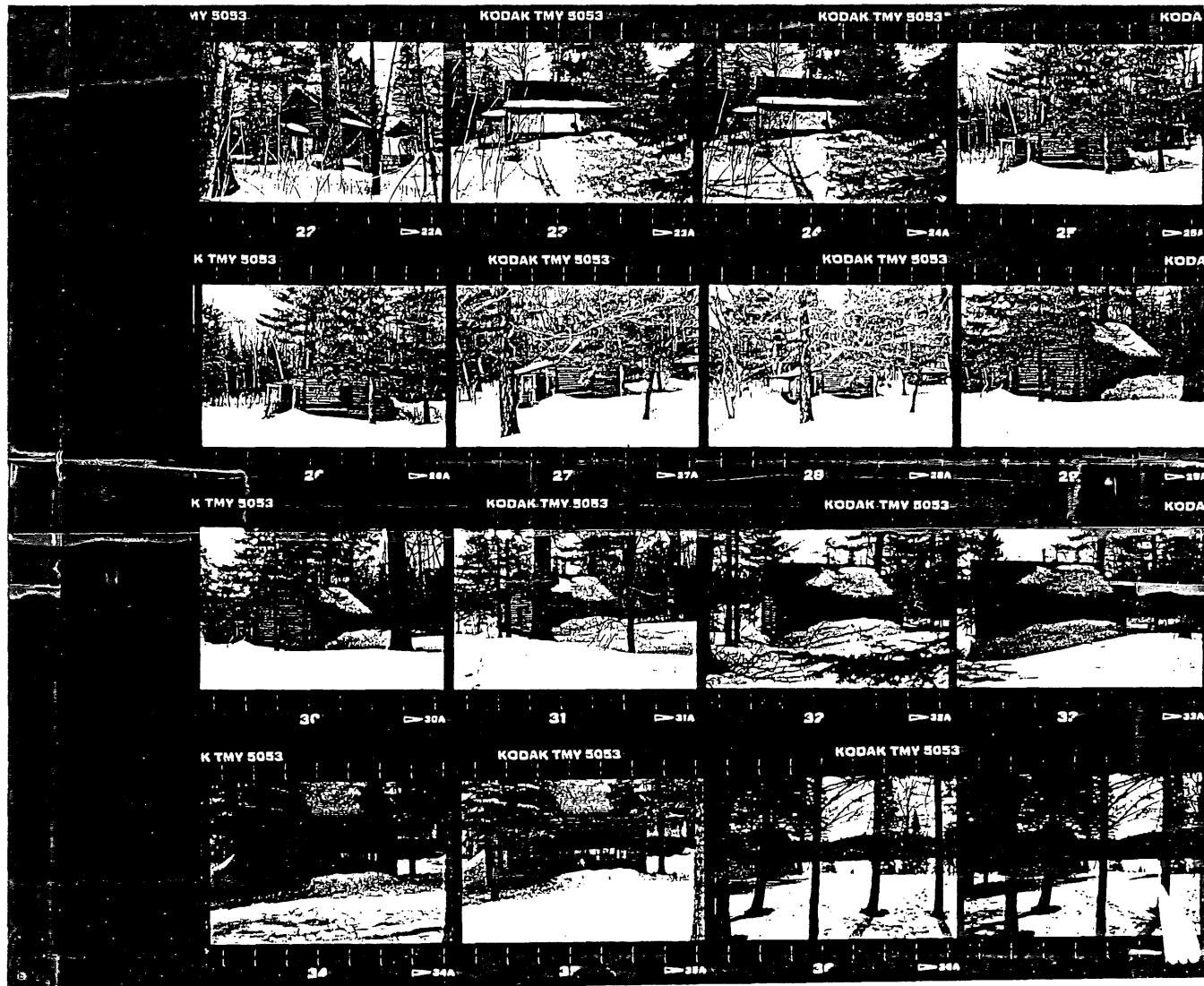
Conditions Survey Contact Photograph

Roll Number 4



Conditions Survey Contact Photograph

Roll Number 4



CONDITIONS SURVEY PHOTOGRAPHIC LOG

Date: May, 1989

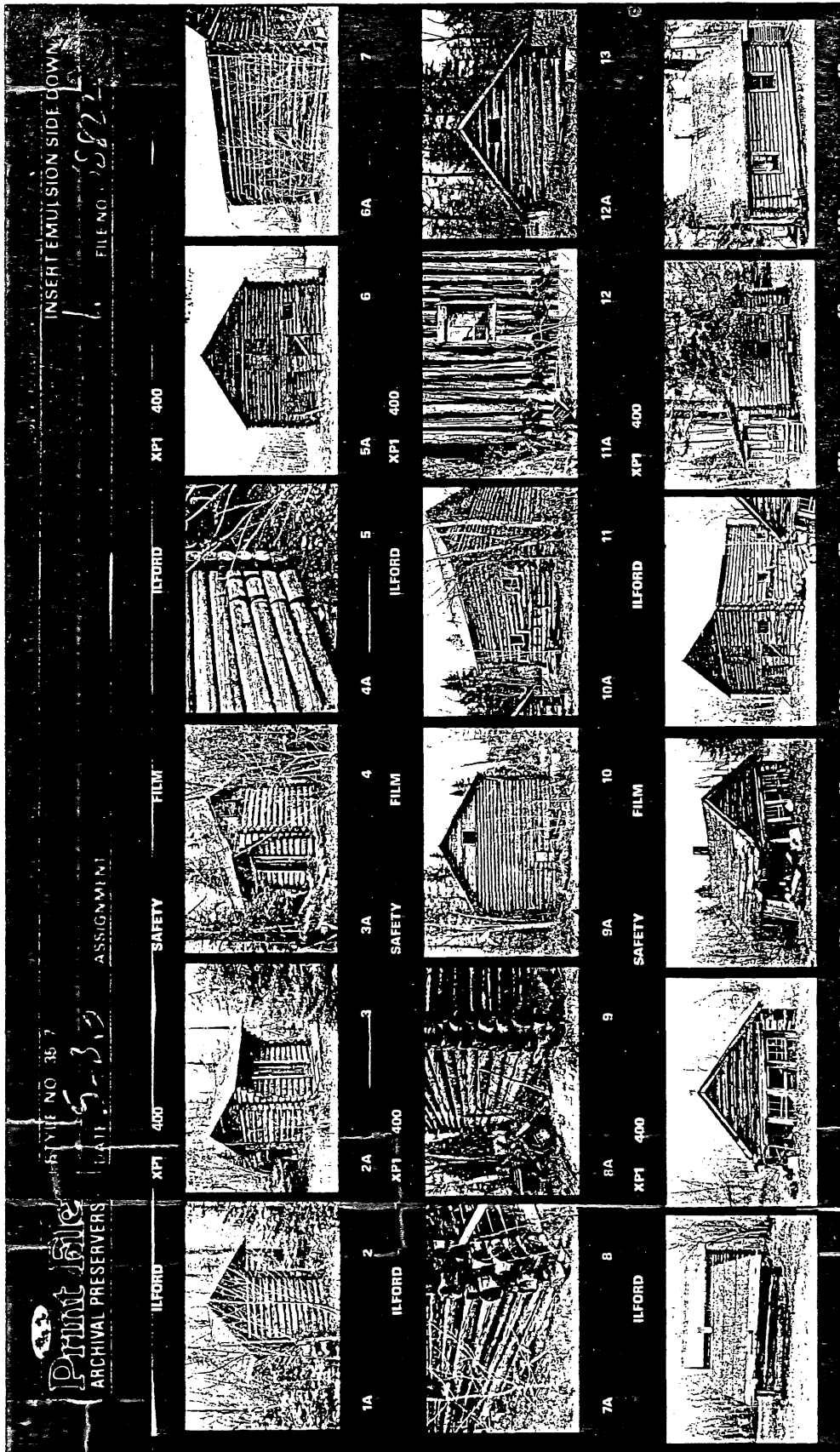
Roll Number: 5

<u>Frame Number</u>	<u>Description</u>
Frame 2:	Outhouse: Looking North
Frame 3:	Outhouse: Looking West
Frame 4:	Outhouse: Looking South
Frame 5:	Outhouse: Looking Southwest
Frame 6:	Barn: Looking North
Frame 7:	Barn: Looking Northeast
Frame 8:	Barn: Looking Northeast
Frame 9:	Barn: Looking Southeast
Frame 10:	Barn: Looking South
Frame 11:	Barn: Looking Southwest
Frame 12:	Barn: Looking West
Frame 13:	Filers' Shack: Looking South
Frame 14:	Filers' Shack: Looking West
Frame 15:	Filers' Shack: Looking North
Frame 16:	Filers' Shack: Looking Northeast
Frame 17:	Barn: Looking Northwest
Frame 18:	Cabin A: Looking Southwest
Frame 19:	Cabin A: Looking Southeast
Frame 20:	Cabin A: Looking North
Frame 21:	Cabin A: Looking Northwest
Frame 22:	Cabin A: Looking Northwest
Frame 23:	Cabin A: Looking Northwest

Frame 24: Cabin A: Looking South
Frame 25: Cabin A: Looking East
Frame 26: Cabin A: Looking East
Frame 27: Cabin A: Looking Northwest
Frame 28: Cabin A: Looking South
Frame 29: Main Lodge: Looking Northeast
Frame 30: Main Lodge: Looking Northwest
Frame 31: Main Lodge: Looking Southwest
Frame 32: Breezeway: Looking Southwest
Frame 33: Main Lodge, Breezeway: Looking Southeast
Frame 34: Kitchen/Dining Hall, Breezeway: Looking Southwest
Frame 35: Kitchen/Dining Hall: Looking Southeast
Frame 36: Kitchen/Dining Hall: Looking South
Frame 37: Kitchen/Dining Hall: Looking Southeast
Frame 38: Kitchen/Dining Hall: Looking Southeast

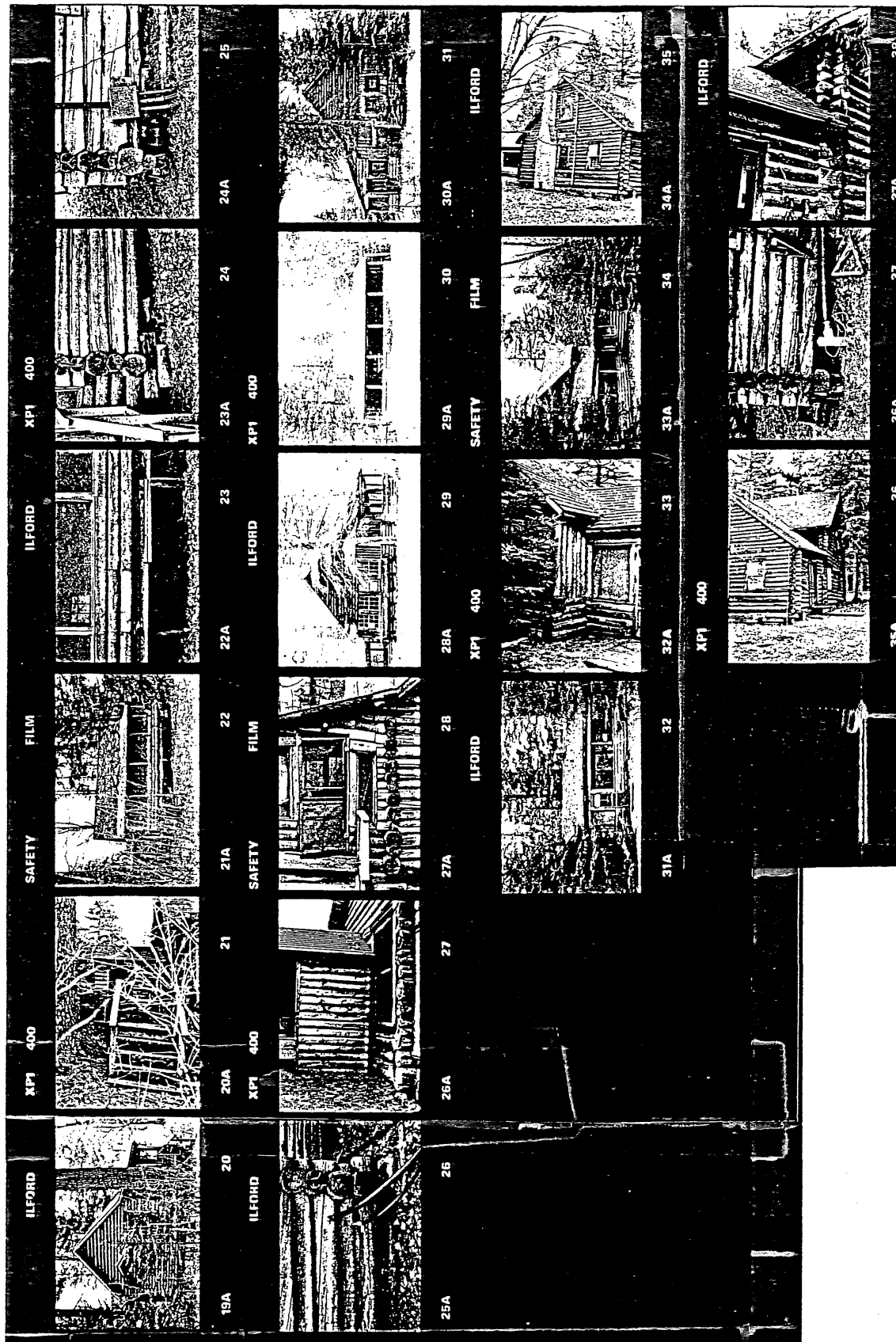
Conditions Survey Contact Photograph

Roll Number 5



Conditions Survey Contact Photograph

Roll Number 5



CONDITIONS SURVEY PHOTOGRAPHIC LOG

Date: May, 1989

Roll Number: 6

<u>Frame Number</u>	<u>Description</u>
Frame 2:	Cabin C: Looking North
Frame 3:	Cabin C: Looking Northwest
Frame 4:	Cabin C: Looking Southwest
Frame 5:	Cabin C: Looking Northeast
Frame 6:	Cabin C: Looking Northeast
Frame 7:	Cabin D: Looking Southeast
Frame 8:	Cabin D: Looking East
Frame 9:	Cabin D: Looking North
Frame 10:	Cabin D: Looking Southwest
Frame 11:	Dog House: Looking Northeast
Frame 12:	Dog House: Looking Southeast
Frame 13:	Dog House: Looking Southwest
Frame 14:	Dog House: Looking Northwest
Frame 15:	Bath House: Looking Northeast
Frame 16:	Bath House: Looking Northwest
Frame 17:	Bath House: Looking Southwest
Frame 18:	Bath House: Looking Southeast
Frame 19:	Garage: Looking Northeast
Frame 20:	Garage: Looking Northwest
Frame 21:	Garage: Looking Southwest
Frame 22:	Garage: Looking South
Frame 23:	Garage: Looking West

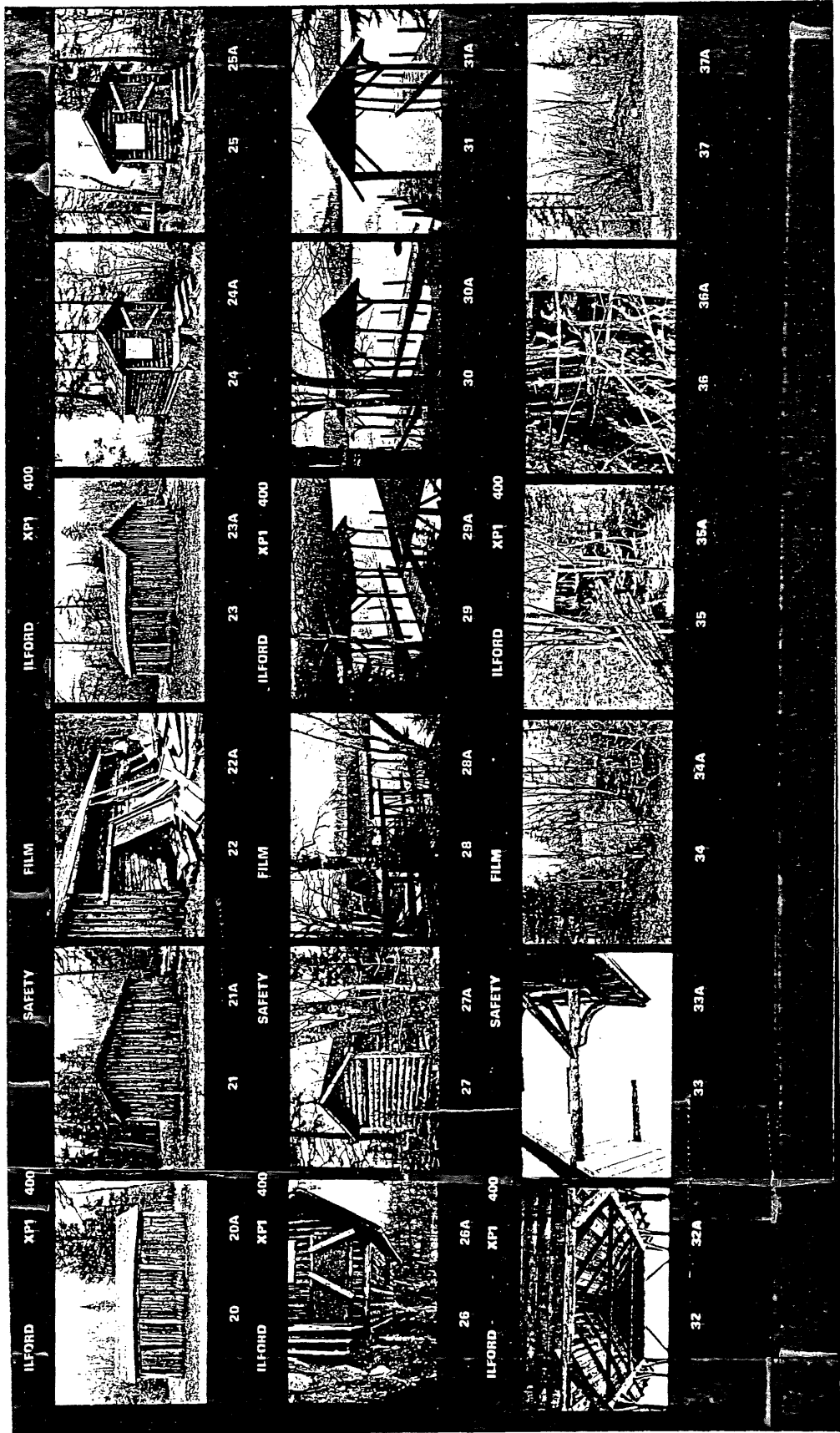
Frame 24: Sauna: Looking Northeast
Frame 25: Sauna: Looking Northeast
Frame 26: Sauna: Looking North
Frame 27: Sauna: Looking South
Frame 28: Boat Shelter: Looking Northwest
Frame 29: Boat Shelter: Looking North
Frame 30: Boat Shelter: Looking East
Frame 31: Boat Shelter: Looking Northeast
Frame 32: Boat Shelter: Looking Northeast
Frame 33: Boat Shelter: Looking East
Frame 34: Root Cellar: Looking Southwest
Frame 35: Root Cellar: Looking Southwest
Frame 36: Root Cellar: Looking South
Frame 37: Root Cellar: Looking North

Roll Number 6



Conditions Survey Contact Photograph

Roll Number 6



CONDITIONS SURVEY PHOTOGRAPHIC LOG

Date: May, 1989

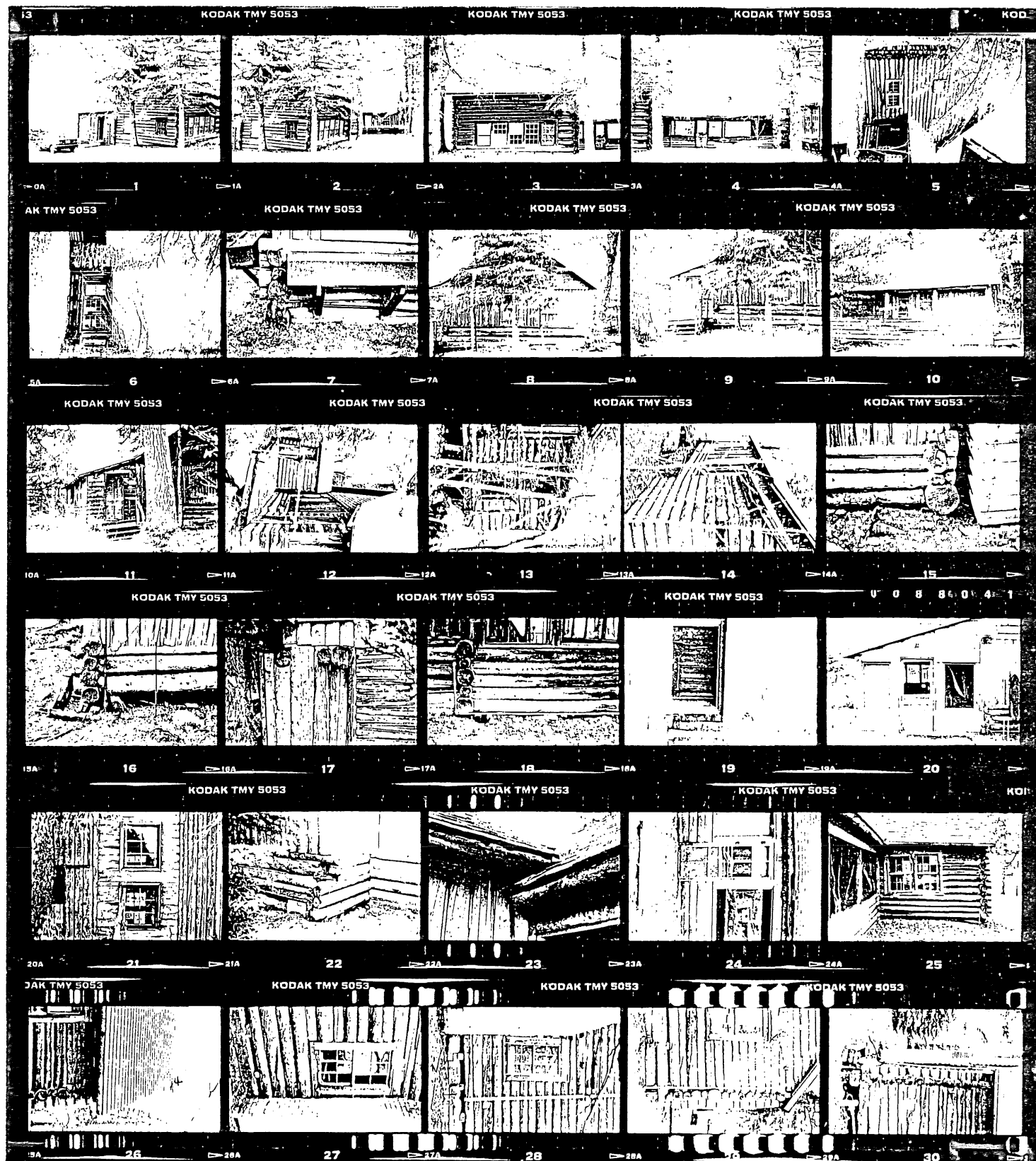
Roll Number: 7

<u>Frame Number</u>	<u>Description</u>
Frame 1:	Kitchen/Dining Hall: Looking Northeast
Frame 2:	Kitchen/Dining Hall: Looking East
Frame 3:	Kitchen/Dining Hall: Looking Northeast
Frame 4:	Breezeway: Looking Northeast
Frame 5:	Kitchen/Dining Hall: Looking Northwest
Frame 6:	Main Lodge: Looking East
Frame 7:	Main Lodge: Detail Looking North
Frame 8:	Cabin B: Looking South
Frame 9:	Cabin B: Looking South
Frame 10:	Cabin B: Looking West
Frame 11:	Cabin B: Looking Southwest
Frame 12:	Cabin B: Looking Northwest
Frame 13:	Cabin B: Looking North
Frame 14:	Cabin B: Looking Northeast
Frame 15:	Cabin B: Detail Looking East
Frame 16:	Cabin B: Detail Looking East
Frame 17:	Cabin B: Detail Looking South
Frame 18:	Main Lodge: Looking Northeast
Frame 19:	Main Lodge: Porch Detail Looking Northwest
Frame 20:	Main Lodge: Porch Detail Looking Southwest
Frame 21:	Main Lodge: Detail Looking Southwest
Frame 22:	Main Lodge, Breezeway: Looking South

Frame 23: Main Lodge, Breezeway: Looking South
Frame 24: Breezeway: Looking Southwest
Frame 25: Kitchen/Dining Hall, Breezeway: Looking West
Frame 26: Kitchen/Dining Hall: Looking Northwest
Frame 27: Kitchen/Dining Hall: Looking Southwest
Frame 28: Kitchen/Dining Hall: Looking Southwest
Frame 29: Kitchen/Dining Hall: Looking Southwest
Frame 30: Kitchen/Dining Hall: Looking Southeast

Conditions Survey Contact Photograph

Roll Number 7



CONDITIONS SURVEY PHOTOGRAPHIC LOG

Date: May, 1989

Roll Number: 8

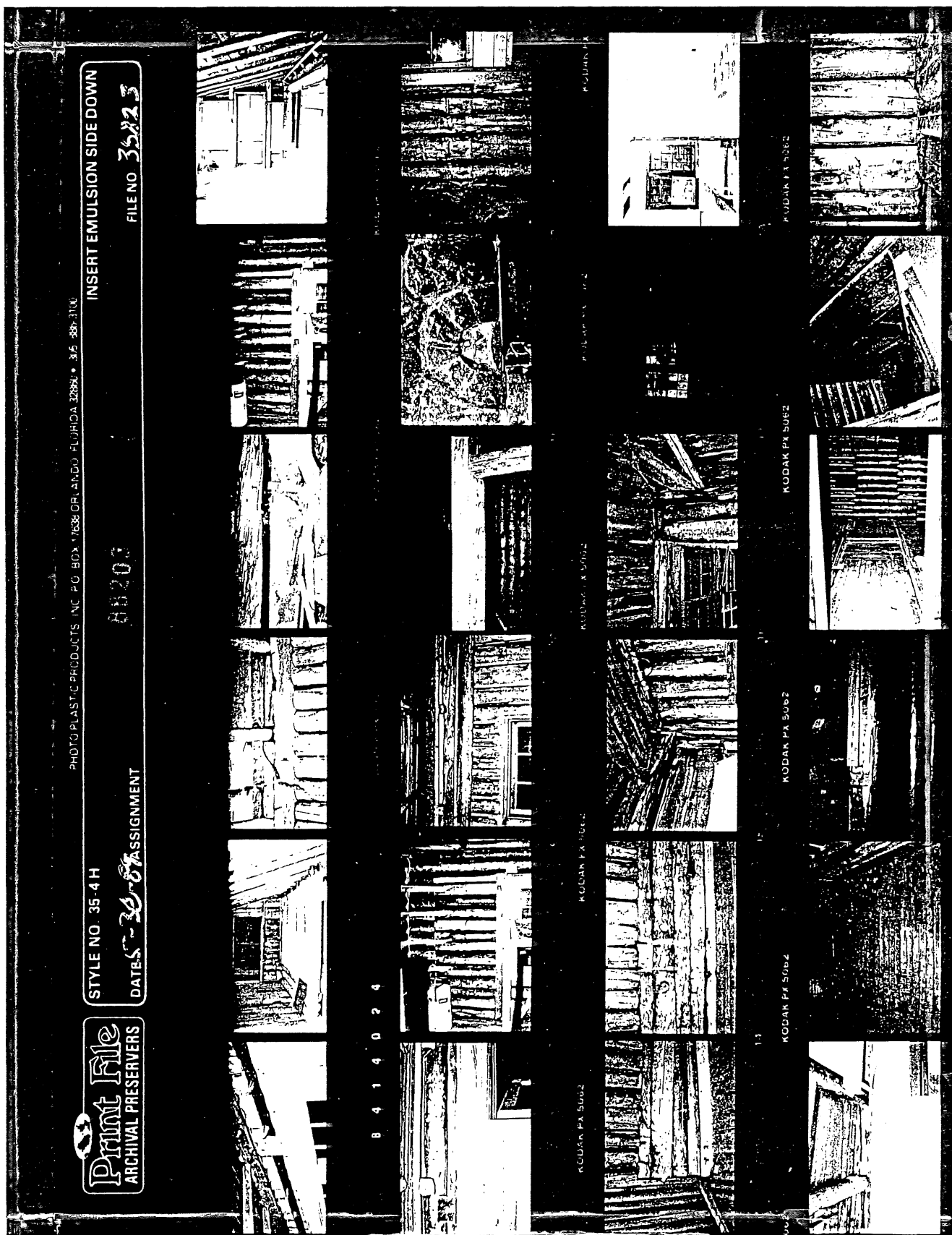
<u>Frame Number</u>	<u>Description</u>
Frame 2:	Cabin B: Porch Interior Looking Southwest
Frame 3:	Cabin B: Porch Interior Looking Southwest
Frame 4:	Cabin B: Porch Interior Looking Southwest
Frame 5:	Cabin A: Looking Southwest
Frame 6:	Cabin A: South Room Interior Looking Southeast
Frame 7:	Cabin A: Porch Interior Looking Southwest
Frame 8:	Cabin A: Porch Interior Looking Northwest
Frame 9:	Cabin A: South Room Interior Looking Southeast
Frame 10:	Main Lodge: Porch Interior Looking Northwest
Frame 11:	Main Lodge: Interior Looking Southwest
Frame 12:	Main Lodge: Interior Looking Northwest
Frame 13:	Main Lodge: Interior Looking Northeast
Frame 14:	Main Lodge: Interior Looking Northwest
Frame 15:	Main Lodge: Interior Looking Northeast
Frame 16:	Breezeway: Interior Looking Northeast
Frame 17:	Breezeway: Interior Looking Northwest
Frame 18:	Kitchen/Dining Hall: Kitchen Interior Looking Southeast
Frame 19:	Kitchen/Dining Hall: Kitchen Interior Looking Southeast
Frame 20:	Kitchen/Dining Hall: Kitchen Interior Looking Northeast
Frame 21:	Kitchen/Dining Hall: Dining Hall Interior Looking Southeast
Frame 22:	Kitchen/Dining Hall: Dining Hall Interior Looking Southeast
Frame 23:	Kitchen/Dining Hall: Second Floor Interior Above Dining Hall Looking Southwest

Frame 24: Kitchen/Dining Hall: Second Floor Interior Above Kitchen
Looking Southeast

Frame 25: Kitchen/Dining Hall: Dining Hall Interior Looking Northwest

Conditions Survey Contact Photograph

Roll Number 8



CONDITIONS SURVEY PHOTOGRAPHIC LOG

Date: May, 1989

Roll Number: 9

<u>Frame Number</u>	<u>Description</u>
Frame 2:	Root Cellar: Looking South
Frame 3:	Root Cellar: Looking South
Frame 4:	Kitchen/Dining Hall: Looking Southwest
Frame 5:	Kitchen/Dining Hall: Southeast
Frame 6:	Kitchen/Dining Hall: Looking Southeast
Frame 7:	Kitchen/Dining Hall: Looking Southeast
Frame 8:	Kitchen/Dining Hall: Looking Northeast
Frame 9:	Kitchen/Dining Hall: Looking Northeast
Frame 10:	Kitchen/Dining Hall, Breezeway: Looking Northwest
Frame 11:	Main Lodge: Looking Southeast
Frame 12:	Main Lodge: Looking Southeast
Frame 13:	Main Lodge: Looking Northeast
Frame 14:	Main Lodge: Looking South
Frame 15:	Main Lodge: Looking Southwest
Frame 16:	Breezeway: Looking Southwest
Frame 17:	Breezeway, Main Lodge: Looking Southeast
Frame 18:	Main Lodge, Breezeway: Looking Northwest
Frame 19:	Cabin C: Looking North
Frame 20:	Cabin D: Looking Northeast
Frame 21:	Cabin A: Looking Southeast
Frame 22:	Cabin A: Looking Southeast
Frame 23:	Cabin A: Looking Southeast

Frame 24: Cabin A: Looking East
Frame 25: Cabin A: Looking Southwest
Frame 26: Cabin A: Looking Northwest
Frame 27: Cabin A: Looking North
Frame 28: Cabin B: Looking South
Frame 29: Cabin B: Looking South
Frame 30: Cabin B: Looking South
Frame 31: Cabin B: Looking South
Frame 32: Cabin B: Looking East
Frame 33: Cabin B: Looking Southeast
Frame 34: Cabin B: Looking East
Frame 35: Cabin B: Looking Southwest
Frame 36: Cabin B: Looking Northwest
Frame 37: Cabin B: Looking West

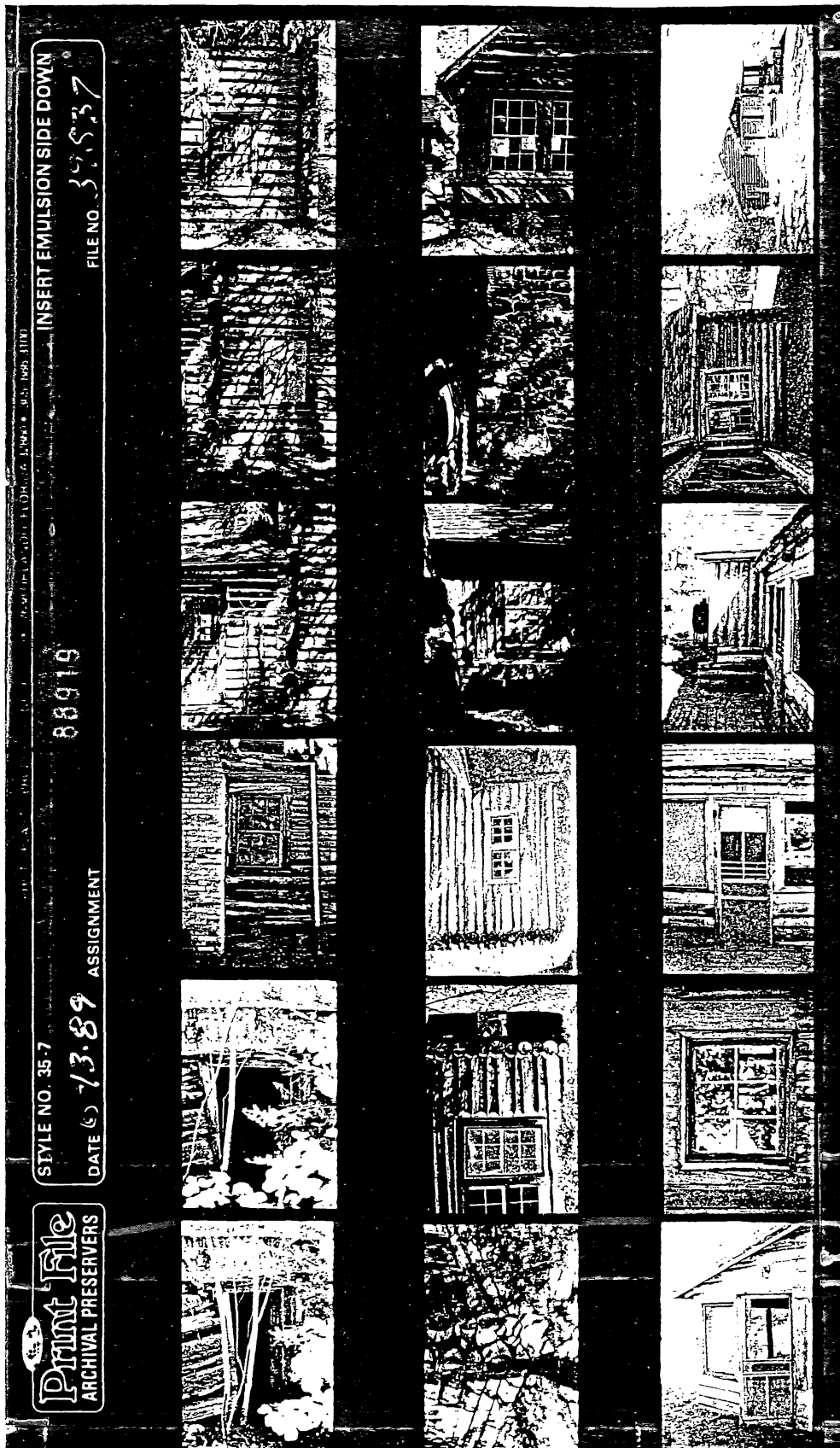
Conditions Survey Contact Photograph

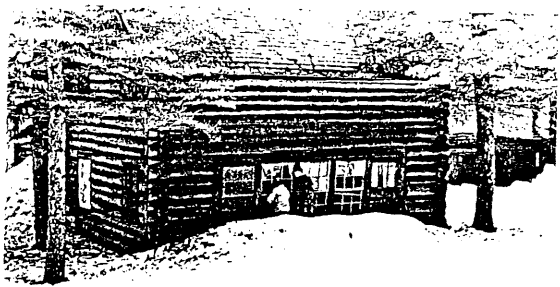
Roll Number 9



Conditions Survey Contact Photograph

Roll Number 9





MAINTENANCE

MAINTENANCE

The long-term preservation of Tettegouche Camp's Category One buildings relies on proper routine maintenance. Though the buildings appear to have received minimal periodic upkeep, such as roof snow removal, a regularly scheduled plan of prescribed work would help limit further deterioration. To that end, it is recommended that a full maintenance program be established.

Such a program should identify routine maintenance tasks; describe the correct procedures for their performance; and prescribe the frequency with which those tasks are to be performed. The following items have been preliminarily identified for periodic maintenance:

Sitework: Maintain appropriate grade elevations and remove debris from swales so as not to interfere with proper drainage patterns at building perimeters.

Clear new plant growth that could hold water adjacent to foundations and trim tree branches that threaten roof structures.

Roof: Remove debris from gutters and downspouts twice a year and roof snow as it accumulates. Disperse roof snow on the site rather than piling adjacent to buildings.

Annually inspect roof condition, especially at areas particularly susceptible to deterioration, such as eaves, valleys, and flashings.

Logs: Remove plant growth and spray-apply a wood preservative or water repellent to all log construction every other year.

Annually inspect log and joint conditions, especially at areas particularly susceptible to deterioration, such as sills and crown ends.

Windows and Doors: Replace deteriorated caulking at window and door frame perimeters as frequently as conditions warrant.

Replace deteriorated window putty and replace cracked or broken glass lights with new glass, points, and putty.

Prepare surfaces and refinish window and door exteriors at least every four or five years.

Annually polish all glass lights and wash all screening.

Annually inspect operation of all window and door hardware; make fully operable and lubricate.

Chimneys: Annually inspect all masonry and sheet metal flues and clean to prevent creosote accumulation.

Annually inspect masonry construction, especially pointing and chimney caps, and repoint and repair.

Until such time as a full maintenance plan is developed and implemented, it is recommended that all buildings be inspected on a regular basis.

Tettegouche Camp's Category One buildings that are not slated for immediate restoration should be "moth-balled" to limit further deterioration. Such

protective storage encompasses all of the maintenance recommendations outlined above as well as the following:

Sitework: Cut grade to original elevations and create new perimeter swales for proper drainage.

Demolition: Remove deteriorated exterior brick chimney at the north wall of the Kitchen/Dining Hall.

Remove deteriorated wood decks (and possibly adjacent outhouses) located south of Cabins A and B.

Foundations: Replace deteriorated foundations.

Exterior Walls: Replace deteriorated sill logs.

Roofs: Replace deteriorated structural roof framing at the Breezeway, and install temporary weather protection.

Stairs: Replace deteriorated wood stairs at Cabins A and B.

Access: Secure doors and windows from unauthorized entry.

Again, it is recommended that all "moth-balled" Category One buildings be routinely inspected.



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BIBLIOGRAPHY

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APPENDICES



APPENDIX A:
ROOF STRUCTURAL SURVEY

APPENDIX A: ROOF STRUCTURAL SURVEY

Roof framing analysis of Category One buildings assumes the following minimum standards: (a) An allowable Live Load of 40 pounds per square foot at main roofs; and (b) an allowable Live Load of 50 pounds per square foot at porch roofs which are subject to contributing snow loads from adjacent roofs.

Main Lodge

Main Roof

Configuration: Gable (12:12± slope)
24'0"± span
5" diameter log rafters at 3'8"± on center
5" diameter log collars at every other rafter
7" to 9" diameter log tie beams at 7'4"± on center

Analysis: Existing wood members are capable of 40 LBS/SF LL, reduce to 30 LBS/SF due to nailing connections

Recommendations: Double existing collars, thru-bolt to rafters
Add new double collars, thru-bolt to rafters
Reinforce connections

Porch Roof

Configuration: Shed (3:12± slope)
10'0"± span
3 1/2" to 4" diameter log rafters at 3'0"± on center

Analysis: Existing structure capable of 10 LBS/SF LL

Recommendations: Rebuild

Breezeway

Configuration: Gable (8:12± slope)
10'0"± span
3" diameter log rafters at 2'8"± on center
5" to 6" diameter log beams at 7'6"± on center

Analysis: Existing structure capable of 30 LBS/SF LL

Recommendations: Reinforce connections

Kitchen/Dining Hall

Dining Hall Roof

Configuration: Gable (10:12± slope)
20'0"± span
Full cut 2x4 rafters at 2'0" on center
Full cut 2x4 collars

Analysis: Existing structure capable of 30 LBS/SF LL

Recommendations: Reinforce connections

Kitchen Roof

Configuration: Gable (5:12± slope)
25'0"± span
Full cut 2x4 rafter at 2'0" on center
Full cut 2x4 collars
Knee wall supports
Miscellaneous 2x4 reinforcement

Analysis: Existing structure capable of 25 LBS/SF LL

Recommendations: Add supplementary framing and nailing

Cabin A

Main Roof

Configuration: Gable (12:12± slope)
19'0"± span
4" to 4 1/2" diameter log rafters at 3'0"± on center
4" to 4 1/2" diameter log collars
Centered 6 1/2" diameter log tie beam

Analysis: Existing wood members are capable of 40 LBS/SF LL, reduce due to nailing connections

Recommendations: Double existing collars, thru-bolt to rafters
Add 3 equally spaced, turnbuckled cables to tie front and rear log rafter plates
Reinforce connections

Porch Roof

Configuration: Shed (2 1/2:12± slope)
8'0"± span
3" diameter log rafters at 3'0"± on center

Analysis: Existing structure capable of 10 LBS/SF LL

Recommendations: Rebuild

Cabin B

Main Roof

Configuration: Gable (8 1/2:12± slope)
24'0"± span
4" diameter log rafters at 2'0"± on center
1x6 collars
2 7" diameter log tie beams at 9'0" on center
2 turnbuckled cables at 14'4" on center tying front and rear
log rafter plates

Analysis: Existing wood members are capable of 40 LBS/SF LL, reduce
due to nailing connections

Recommendations: Double existing collars, thru-bolt to rafters
Add 1 centered, turnbuckled cable to tie front and rear log
rafter plates
Reinforce connections

Porch Roof

Configuration: Shed (4:12± slope)
7'0"± span
3" diameter log rafters at 2'0"± on center

Analysis: Existing structure capable of 20 LBS/SF LL

Recommendations: Rebuild



APPENDIX B:
WINDOW CONDITION SURVEY

APPENDIX B: WINDOW CONDITION SURVEY

Main Lodge

Window Number W1

Type: In-swinging casement
Six light sash
Finish: Unfinished
Hardware: 1 pair butt hinges
Turn catches
Condition: Good

Window Number W2

Type: In-swinging casement
Six light sash
Finish: Unfinished
1 pair butt-hinges
Hardware: Turn catches
Condition: Good

Window Number W3

Type: Fixed
Twelve light sash
Finish: Unfinished
Hardware: None
Condition: 1 broken glass light

Window Number W4

Type: In-swinging casement
Six light sash
Finish: Unfinished
Hardware: 1 pair butt hinges
Condition: Rotted sill
Rotted jamb and head casings

Window Number W5

Type: In-swinging casement
Six light sash
Screen sash
Finish: Unfinished
Black-painted screen sash
Hardware: 1 pair butt hinges
Condition: Rotted header
Rotted sill
Rotted jamb casing
Rotted screen sash

Window Number W6

Type: Single-hung
Six-over-six light sash
Screen sash
Finish: Unfinished
Black-painted screen sash
Hardware: Turn catches
Condition: Racked frame and sash

Window Number W7

Type: Single-hung
Six-over-six light sash
Finish: Unfinished
Hardware: Turn catches
Condition: Racked frame and sash

Window Number W8

Type: Single-hung
Six-over-six light sash
Finish: Unfinished
Hardware: Turn catches
Condition: Racked frame and sash
Rotted sill

Window Number W9

Type: Single-hung
Six-over-six light sash
Finish: Unfinished
Hardware: Turn catches
Condition: Racked frame and sash
1 broken glass light

Window Number W10

Type: Single-hung
Six-over-six light sash
Finish: Unfinished
Hardware: Turn catches
Condition: Racked frame and sash

Window Number W11

Type: Single-hung
Six-over-six light sash
Screen sash
Finish: Unfinished
Black-painted screen sash
Hardware: Turn catches
Condition: Racked frame and sash
Rotted jamb casing

Window Number W12

Type: Single-hung
Six-over-six light sash
Finish: Unfinished
Hardware: Turn catches
Condition: Racked frame and sash

Window Number W13

Type: In-swinging casement
Six light sash
Finish: Unfinished
Hardware: 1 pair butt hinges
Turn catches
Condition: Good

Window Number W14

Type: In-swinging casement
Six light sash
Finish: Unfinished
Hardware: 1 pair butt hinges
Condition: Good

Window Number W15

Type: Fixed
Twelve light sash
Finish: Unfinished
Hardware: None
Condition: 1 broken glass light
Broken exterior cove millwork

Kitchen/Dining Hall

First Floor

Window Number W1

Type: Single-hung
Six-over-six light sash
Finish: Unfinished
Hardware: None
Condition: Racked frame and sash
Plywood cover

Window Number W2

Type: Single-hung
Six-over-six light sash
Screen Sash
Finish: Unfinished
Black-painted screen sash
Hardware: Sash lock
Turn catches
Condition: Racked frame and sash

Window Number W3

Type: Single-hung
Six-over-six light sash
Screen sash
Finish: Unfinished
Black-painted screen sash
Hardware: Turn catches
Condition: Racked frame and sash

Window Number W4

Type: Single-hung
Six-over-six light sash
Finish: Unfinished
Hardware: Turn catches
Condition: Racked frame and sash
2 broken glass lights
1 broken lower sash muntin
Plywood cover

Window Number W5

Type: Single-hung
Six-over-six light sash
Finish: Unfinished
Hardware: Turn catches
Condition: Racked frame and sash
2 broken glass lights

Window Number W6

Type: Single-hung
Six-over-six light sash
Finish: Unfinished
Hardware: Turn catches
Condition: Racked frame and sash

Window Number W7

Type: Single-hung
Six-over-six light sash
Screen sash
Finish: Unfinished
Black-painted screen sash
Hardware: Turn catches
Condition: Racked frame and sash

Window Number W8

Type: Hopper (out)
Six light sash
Finish: Unfinished
Hardware: 1 pair hinges
1 pivot bar
Condition: Racked frame and sash
1 damaged muntin
Rotted sill
Rotted jamb and casing
Rotted bottom sash rail and stiles
Missing drip cap

Window Number W9

Type: Hopper (out)
Six light sash
Finish: Unfinished
Hardware: 1 pair hinges
1 pivot bar
Condition: Racked frame and sash
Rotted sill
Rotted jamb casings
Rotted bottom sash rail and stiles
Missing drip cap

Window Number W10

Type: Abandoned window opening
2'4" wide x 2'1" high
Finish: Unfinished
Hardware: None
Condition: Infilled with horizontal boards

Window Number W11

Type: Double-hung
Six-over-six light sash
Screen sash
Finish: Unfinished exterior
Varnished interior
Hardware: 2 spring pins
Turn catches
Condition: Racked frame and sash
Deteriorated sill
Replaced bottom sash

Window Number W12

Type: Double-hung
Six-over-six light sash
Finish: Unfinished exterior
Varnished interior
Hardware: 2 spring pins
Turn catches
Condition: Racked frame and sash
Deteriorated sill
Replaced bottom sash

Window Number W13

Type: Double-hung
Six-over-six light sash
Finish: Unfinished exterior
Varnished interior
Hardware: 2 spring pins
Turn catches
Condition: Racked frame and sash
Deteriorated sill
Deteriorated jamb casing
Missing casing at head
Deteriorated sash stile and rail

Window Number W14

Type: Double-hung
Six-over-six light sash
Screen sash
Finish: Unfinished exterior
Varnished interior
Hardware: 2 spring pins
Turn catches
Condition: Racked frame and sash
Deteriorated sill and jambs
Deteriorated sash stile and rail
1 broken glass light

Window Number W15

Type: Double-hung
Six-over-six light sash
Finish: Unfinished exterior
Varnished interior
Hardware: 2 spring pins
Turn catches
Condition: Racked frame and sash
Rotted sill and jambs
Deteriorated sash stile and rail
Missing muntins and glass lights
Plywood cover

Window Number W16

Type: Double-hung
Six-over-six light sash
Finish: Unfinished exterior
Varnished interior
Hardware: 2 spring pins
Turn catches
Condition: Racked frame and sash

Second Floor

Window Number W17

Type: Hopper
Six light sash
Screen sash
Finish: Yellow-painted exterior
Cream-painted interior
Black-painted screen sash
Hardware: 1 pair butt hinges
Condition: Racked frame and sash

Window Number W18

Type: Awning
Six light sash
Screen sash
Finish: Yellow-painted exterior
Cream-painted interior
Black-painted screen sash
Hardware: 1 1/2 pair butt hinges
Condition: Racked frame and sash

Window Number W19

Type: Hopper
Six light sash
Screen sash
Finish: Yellow-painted exterior
Cream-painted interior
Black-painted screen sash
Hardware: 1 pair butt hinges
1 latch
Condition: Broken muntins and glass lights

Window Number W20

Type: Awning
Six light sash
Screen sash
Finish: Yellow-painted exterior
Cream-painted interior
Black-painted screen sash
Hardware: 1 pair butt hinges
1 latch
Condition: Racked frame and sash
Rotted apron

Window Number W21

Type: Single-hung
One-over-one light sash
Screen sash
Finish: Unfinished exterior
Green-painted interior
Hardware: None
Condition: Split jamb board
Replacement sash stops

Cabin A

Window Number W1

Type: Single-hung
Six-over-six light sash
Finish: Green-painted exterior
Yellow-painted interior
Hardware: None
Condition: Good
Taped shut

Window Number W2

Type: Single-hung
Six-over-six light sash
Finish: Green-painted exterior
Yellow-painted interior
Hardware: None
Condition: Good
Taped shut

Window Number W3

Type: Single-hung
Six-over-six light sash
Screen sash
Finish: Green-painted exterior
Yellow-painted interior
Unfinished screen sash
Hardware: Turn catches
Condition: Racked frame and sash
Deteriorated sill

Window Number W4

Type: Single-hung
Six-over-six light sash
Screen sash
Finish: Green-painted exterior
Yellow-painted interior
Unfinished screen sash
Hardware: Turn catches
Condition: Racked frame and sash
Rotted sill

Window Number W5

Type: Single-hung
Six-over-six light sash
Screen sash
Finish: Green-painted exterior
Yellow-painted interior
Unfinished screen sash
Hardware: Turn catches
Condition: Racked frame and sash
1 broken glass light

Window Number W6

Type: Single-hung
Six-over-six light sash
Screen sash
Finish: Unfinished exterior
Yellow-painted interior
Black-painted screen sash
Hardware: Turn catches
Condition: Slightly racked frame and sash

Window Number W7

Type: Single-hung
Six-over-six light sash
Screen sash
Finish: Unfinished exterior
Yellow-painted interior
Black-painted screen sash
Hardware: Turn catches
Condition: Good

Window Number W8

Type: Single-hung
Six-over-six light sash
Finish: Green-painted exterior
Yellow-painted interior
Hardware: None
Condition: Good

Window Number W9

Type: Single-hung
Six-over-six light sash
Finish: Green-painted exterior
Yellow-painted interior
Hardware: None
Condition: Good

Window Number W10 (Outhouse)

Type: Hopper
Six light sash
Finish: Unfinished exterior
Yellow-painted interior
Hardware: 1 pair butt hinges
Chain
Turn catches
Condition: 1 broken glass light

Cabin B

Window Number W1

Type: Single-hung
Six-over-six light sash
Finish: Yellow-painted exterior and interior
Hardware: None
Condition: Slightly racked frame and sash

Window Number W2

Type: Single-hung
Six-over-six light sash
Finish: Yellow-painted exterior and interior
Hardware: None
Condition: Slightly racked frame and sash
Damaged bottom sash rail

Window Number W3

Type: Single-hung
Six-over-six light sash
Screening
Finish: Unfinished exterior
Yellow-painted interior
Hardware: None
Condition: Deteriorated sill
Damaged bottom sash rail and muntins

Window Number W4

Type: In-swinging casement
Six light sash
Screening
Finish: Yellow-painted exterior and interior
Hardware: 1 pair butt hinges
1 latch
Condition: Rotted sill

Window Number W5

Type: Single-hung
Six-over-six light sash
Screening
Finish: White-painted exterior
Yellow-painted interior
Hardware: None
Condition: 1 broken glass light

Window Number W6

Type: Single-hung
Six-over-six light sash
Screening
Finish: White-painted exterior
Yellow-painted interior
Hardware: None
Condition: Racked frame and sash

Window Number W7

Type: In-swinging casement
Six light sash
Screening
Finish: Yellow-painted exterior and interior
Hardware: 1 pair butt hinges
1 latch
Condition: Racked frame and sash

Window Number W8

Type: Single-hung
Six-over-six light sash
Screening
Finish: Unfinished exterior
Yellow-painted interior
Hardware: None
Condition: 1 broken glass light

Window Number W9

Type: Single-hung
Six-over-six light sash
Finish: Yellow-painted exterior and interior
Hardware: None
Condition: Good

Window Number W10

Type: Single-hung
Six-over-six light sash
Finish: Yellow-painted exterior and interior
Hardware: None
Condition: Good

Window Number W11 (Outhouse)

Type: In-swinging casement
Six light sash
Screening
Finish: White-painted exterior
Unfinished interior
Hardware: 1 pair butt hinges
Condition: Damaged bottom sash rail



APPENDIX C:
DOOR CONDITION SURVEY

APPENDIX C: DOOR CONDITION SURVEY

Main Lodge

Door Number D1

Type: Vertical half-log, both sides
1 glass light
Size: 2 1/2" x 2'10" x 6'9"
Finish: Unfinished
Hardware: 1 1/2 pair butt hinges
Mortise lock
Escutcheon
Throw-bolt (new)
Condition: Good

Door Number D2

Type: Vertical half-log, both sides
1 glass light
Size: 2 1/2" x 2'6" x 6'4 1/2"
Finish: Unfinished
Hardware: 1 1/2 pair butt hinges
Mortise lock
Escutcheon
Padlock hasp (new)
Condition: Good

Door Number D3

Type: Screen door
5-panel
Size: 1 1/8" x 2'9" x 6'1"
Finish: Unfinished
Hardware: 1 pair spring hinges
Wire door pull
Condition: Center stile missing
Hinge stile and top rail pieced-out

Breezeway

Door Number D1

Type: Screen door
5-panel
Size: 1 1/8" x 2'5" x 6'5"
Finish: Unfinished
Hardware: 1 pair butt hinges
1 spring hinge
Door pull
Condition: Racked
Plywood cover

Door Number D2

Type: Screen door
5-panel
Size: 1" x 2'6" x 6'6"
Finish: Red-painted
Hardware: 1 pair butt hinges (new)
1 1/2 pair spring hinges missing
Wire door pull
Condition: Rebuilt

Kitchen/Dining Hall

Door Number D1

Type: Vertical half-log, both sides
1 glass light
Size: 2" x 2'6" x 6'4"
Finish: Stained
Hardware: 1 1/2 pair butt hinges
Mortise lock
Condition: Good

Door Number D2

Type: Panel door
1 glass light
Screen door
5-panel
Size: 1 3/4" x 2'5 1/2" x 6'5 1/2"
1 1/8" thick screen door
Finish: Brown-painted
Hardware: 1 1/2 pair butt hinges
Lockset
Kick-plate
Padlock hasp
1 1/2 pair butt hinges (screen)
Door pull (screen)
Silencer (screen)
Condition: Good

Door Number D3

Type: Hollow core
Size: 1 3/8" x 2'6" x 5'1"
Finish: Stained
Hardware: 1 1/2 pair butt hinges
Latch set
Condition: Good

Cabin A

Door Number D1

Type: 5 panel, glazed
Size: 1 3/8" x 2'8" x 5'7"
Finish: Brown-painted exterior
Yellow-painted interior
Hardware: 1 1/2 pair butt hinges
Lock set
Padlock hasp
Condition: Good (new)

Door Number D2

Type: 2-panel, louvered
Size: 1 3/8" x 2'6" x 6'5"
Finish: Natural finish
Hardware: 1 pair butt hinges
Latch set
Condition: Good (new)

Door Number D3

Type: Screen door
5-panel
Size: 1 1/8" x 2'8" x 6'4"
Finish: Brown-painted
Hardware: 1 pair butt hinges
Hook and eye
Spring
Condition: Deteriorated

Door Number D4

Type: Screen door
5-panel with spindlework
Size: 1" x 2'5" x 6'6"
Finish: Unfinished
Hardware: 1 pair spring hinges
Wire door pull
Hook and eye
Spring
Condition: Deteriorated
Reinforced with "L" and rectangular mending plates

Cabin B

Door Number D1

Type: 5-panel, glazed
Size: 1 3/8" x 2'8" x 6'6"
Finish: Yellow-painted
Hardware: 1 1/2 pair butt hinges
Lockset
Condition: Good (new)

Door Number D2

Type: 2-panel, louvered
Size: 1 3/8" x 2'6" x 6'2"
Finish: Yellow-painted
Hardware: 1 pair butt hinges
Latch set
Condition: Good (new)

Door Number D3

Type: Double-leaf, 2-panel, louvered
Size: 1 3/8 x 2'0" x 6'3", each leaf
Finish: Yellow-painted
Hardware: 1 pair butt hinges, each leaf
Door pulls
Magnetic catches
Condition: Good (new)

Door Number D4

Type: 2-panel, louvered
Size: 1 3/8" x 2'5 1/2" x 6'2"
Finish: Yellow-painted
Hardware: 1 pair butt hinges
Latch set
Condition: Good (new)

Door Number D5

Type: Double-leaf, 2-panel, louvered
Size: 1 3/8" x 2'0" x 6'3", each leaf
Finish: Yellow-painted
Hardware: 1 pair butt hinges, each leaf
Door pulls
Magnetic catches
Condition: Good (new)

Door Number D6

Type: Screen door
5-panel
Size: 1 1/8" x 2'8" x 6'5"
Finish: Brown-painted
Hardware: 1 pair butt hinges
Wire door pull
Hook and eye
Condition: Deteriorated
Reinforced with "L" mending plates

Door Number D7

Type: Screen door
5-panel
Size: 1 1/8" x 2'8" x 6'5"
Finish: Brown-painted
Hardware: 1 pair butt hinges
Hook and eye
Condition: Deteriorated

Door Number D8 (Outhouse)

Type: Vertical board cross-buck
Size: 7/8" x 2'2" x 5'9 1/2"
Finish: Unfinished exterior
Yellow-painted interior
Hardware: 1 pair butt hinges
Hook and eye
Condition: Good



APPENDIX D:
EXISTING CONDITIONS
and
RECOMMENDATIONS

APPENDIX D: EXISTING CONDITIONS AND RECOMMENDATIONS

CATEGORY TWO BUILDINGS

Cabin C

<u>Exterior Features</u>	<u>Conditions/Recommendations</u>
Landscape:	Cut grade and create swales at building perimeter for proper site drainage Trim/remove trees and other plant materials from building perimeter
Foundation:	Replace deteriorated foundations and piers
Log Walls:	Replace deteriorated sill log at west side Splice deteriorated sill log at east side Replace 8 deteriorated purlins Replace 11 deteriorated log crowns Remove all caulk "chinking" Replace all deteriorated crawl space skirting
Roof: Framing Sheathing Shingles Metals	Replace deteriorated rafter tails at west side Replace deteriorated board sheathing at eaves Tear off existing and replace with new shingles Replace sheet metal flashing, gutters and downspouts
Porches:	Replace screening Cut back east porch platform adjacent to east log wall of main house
Windows:	Provide screens
Finishes:	Prepare surfaces and refinish
<u>Interior Features</u>	<u>Conditions/Recommendations</u>
Walls:	Remove all caulk "chinking"
Finishes:	Prepare surfaces and refinish
Kitchen:	Re-activate existing kitchen, provide appliances
Stove:	Install wood stoves and metal flues for supplemental heat Remove existing oil-fired unit heater and exterior oil tanks
Electrical:	Install electric service panel, power and lighting
Plumbing:	Re-connect kitchen and bathroom plumbing systems

Barn

<u>Exterior Features</u>	<u>Conditions/Recommendations</u>
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Landscape:	Cut grade and create swales at building perimeter for proper site drainage
Foundation:	Replace existing deteriorated foundation with new
Log Walls:	Replace deteriorated sill log & 2 deteriorated logs at south side Replace deteriorated sill log and 13 deteriorated logs at east side Replace deteriorated sill log and 6 deteriorated logs at north side Re-face 2 deteriorated logs at north side Re-tie logs to opening jambs at north side Replace deteriorated sill log and 4 deteriorated logs at west side Replace existing portland cement mortar daubing with high-lime-content mortar daubing
Roof: Framing	Structurally reinforce roof framing
Sheathing	Replace deteriorated board sheathing
Shingles	Tear off existing and replace with new wood shingles
Metals	Replace sheet metal flashing, gutters and downspouts
Windows:	Replace 4 deteriorated windows Provide screens
Doors:	Repair doors and make hardware complete
Finishes:	Prepare surfaces and apply wood preservative/repellent

<u>Interior Features</u>	<u>Conditions/Recommendations</u>
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Clean-Out:	Remove all stored materials
Framing:	Replace 1st floor log joists/sleepers Structurally reinforce 2nd floor log summer at ends and 3rd points Shore all 2nd floor log joists at east wall
Walls:	Repair existing partition construction
Floors:	Replace deteriorated 1st floor boards and planks
Doors:	Repair doors and make hardware complete
Finishes:	Prepare surfaces and re-whitewash
Electrical:	Install electric service panel, power and lighting

Garage

<u>Exterior Features</u>	<u>Conditions/Recommendations</u>
Landscape:	Cut grade and create swales at building perimeter for proper site drainage
Walls:	Replace all deteriorated pole logs at exterior walls Replace all deteriorated sills, vertical board sheathing, vertical log siding at north, south and east sides, and horizontal board siding at east Replace deteriorated double rafter plate at west side Reconstruct exterior wall construction at southwest corner
Roof: Framing	Replace rotted log rafters
Sheathing	Replace deteriorated board sheathing
Shingles	Tear off existing and replace with new shingles
Metals	Replace sheet metal flashing, gutters and downspouts
Doors:	Repair 3 double-leaf garage doors and make hardware complete
Finishes:	Prepare surfaces and apply wood preservative/repellent

<u>Interior Features</u>	<u>Conditions/Recommendations</u>
Clean-Out:	Remove all stored materials at loft
Floors:	Re-grade earth floor
Finishes:	Prepare surfaces and apply wood preservative/repellent
Electrical:	Install electric service panel, power and lighting

Outhouse

<u>Exterior Features</u>	<u>Conditions/Recommendations</u>
Landscape:	Cut grade and create swales at building perimeter for proper site drainage Trim/remove trees and other plant materials at building perimeter
Foundation:	Replace deteriorated foundation sections
Log Walls:	Replace deteriorated log sills at east, west and south sides Replace 1 deteriorated log at east side Re-face 1 deteriorated log at east side
Roof: Framing Sheathing Shingles Metals	Replace 2 deteriorated rafter tails at east side Replace deteriorated board sheathing Tear off existing and replace with new wood shingles Replace sheet metal flashing
Porches:	Replace wood entry platform
Windows:	Provide screens
Doors:	Disassemble, repair stiles and rails, re-assemble, and make hardware complete
Finishes:	Prepare surfaces and apply wood preservative/repellent

<u>Interior Features</u>	<u>Conditions/Recommendations</u>
Floors:	Remove indoor-outdoor carpet and repair wood flooring
Finishes:	Prepare surface and refinish
Electrical:	Install electric service panel, power and lighting

Filers' Shack

<u>Exterior Features</u>	<u>Conditions/Recommendations</u>
Landscape:	Cut grade and create swales at building perimeter for proper site drainage
Foundations:	Replace existing deteriorated foundation with new
Log Walls:	Replace deteriorated sill logs at all sides Replace deteriorated logs at all sides Replace portland cement mortar chinking with high-lime-content mortar chinking
Roof: Framing	Replace rotted log rafters Replace deteriorated fascia boards
Sheathing	Replace rotted board sheathing
Shingles	Tear off existing and replace with new wood shingles
Metals	Replace sheet metal flashing, gutters and downspouts
Windows:	Replace 4 windows to match original Provide screens
Doors:	Replace 1 door to match original Provide screen door
Finishes:	Prepare surfaces and apply wood preservative/repellent

<u>Interior Features</u>	<u>Conditions/Recommendations</u>
Framing:	Replace deteriorated 1st floor log joists/sleepers Replace failed attic log joists
Floors:	Replace deteriorated 1st floor and attic floor boards
Finishes:	Prepare surfaces and re-whitewash
Electrical:	Install electric service panel, power and lighting

CATEGORY THREE BUILDINGS

Boat Shelter

<u>Exterior Features</u>	<u>Conditions/Recommendations</u>
Logs:	Replace all deteriorated log main posts Replace all deteriorated log dock posts Replace all deteriorated log dock joists Repair below water dock cribbing
Roof: Framing	Replace deteriorated verge logs at each gable end Replace missing ornamental log bracket at SW corner
Sheathing	Replace deteriorated board sheathing
Shingles	Tear off existing and replace with new wood shingles
Finishes:	Prepare surfaces and apply wood preservative/repellent

Root Cellar

<u>Exterior Features</u>	<u>Conditions/Recommendations</u>
Landscape:	Cut grade and create swales at building perimeter for proper site drainage Trim/remove trees and other plant materials at building perimeter
Log Walls:	Replace all perimeter retaining wall log construction Provide structural reinforcement with posts and "dead men" to resist soil pressure on retaining walls Provide filter fabric and gravel backfill for drainage at retaining walls
Stone Walls:	Repair stone jambs supporting massive concrete lintel at door opening
Roof:	Trim/remove trees and other plant materials at roof Restore earth cover
Doors:	Reconstruct plank jambs, lintel and horizontal and vertical board door and make hardware complete

<u>Interior Features</u>	<u>Conditions/Recommendations</u>
Clean-Out:	Remove all debris at interior
Doors:	Reconstruct frame, horizontal and vertical board door, and make hardware complete
Electrical:	Install electric service panel, power and lighting

Sauna

<u>Exterior Features</u>	<u>Conditions/Recommendations</u>
Landscape:	Cut grade and create swales at building perimeter for proper site drainage Trim/remove trees and other plant materials at building perimeter
Foundation:	Replace concrete block foundation piers
Roof: Shingles Metals	Tear off existing and replace with new shingles Replace sheet metal flashing
Porches:	Repair wood entry platform and stair construction
Windows:	Replace 2 sash and broken glass lights Provide screens
Doors:	Replace existing hollow core door with new vertical board crossbuck, hardware complete
Finishes:	Prepare surfaces and apply wood preservative/repellent

<u>Interior Features</u>	<u>Conditions/Recommendations</u>
Electrical:	Install electric service panel, power and lighting

Cabin D

Exterior Features

Conditions/Recommendations

Landscape:	Cut grade and create swales at building perimeter for proper site drainage Trim/remove trees and other plant materials at building perimeter
Foundation:	Repair minor sill deterioration
Frame Walls:	Replace rotted siding adjacent to sills at south and east sides of cabin and north side of porch
Roof: Sheathing Shingles Metals	Replace deteriorated board sheathing at NE corner Tear off existing and replace with new shingles Replace sheet metal flashing, gutters and downspouts
Porches:	Replace screening
Windows:	Provide screens
Finishes:	Prepare surfaces and refinish

Interior Features

Conditions/Recommendations

Electrical:	Reconnect electric service panel, power, heat and lighting
Plumbing:	Reconnect bathroom plumbing system

Bath House

Exterior Features

Conditions/Recommendations

Landscape:	Cut grade and create swales at building perimeter for proper site drainage Trim/remove trees and other plant materials at building perimeter
Roof: Framing	Replace broken rafter tail at east side Structurally reinforce all rafter tails Replace fascia at south side
Sheathing	Replace deteriorated board sheathing
Shingles	Tear off existing and replace with new shingles
Metals	Replace sheet metal flashing
Porches:	Repair entry platform construction
Windows:	Provide screens
Doors:	Make hardware complete
Finishes:	Prepare surfaces and apply wood preservative/repellent

Interior Features

Conditions/Recommendations

Floors:	Remove indoor-outdoor carpet and repair flooring
Finishes:	Prepare surfaces and refinish
Electrical:	Install electric service panel, power and lighting

Dog House

<u>Exterior Features</u>	<u>Conditions/Recommendations</u>
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Landscape:	Cut grade and create swales at building perimeter for proper site drainage Trim/remove trees and other plant materials at building perimeter
Frame Walls:	Repair minor sill deterioration at south side Repair rotted log siding adjacent to sills
Roof: Shingles	Tear off existing and replace with new shingles
Windows:	Provide screens
Finishes:	Prepare surfaces and apply wood preservative/repellent

<u>Interior Features</u>	<u>Conditions/Recommendations</u>
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Electrical:	Install electric service panel, power and lighting
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APPENDIX E:
LEVEL III
HABS DOCUMENTATION

HISTORIC AMERICAN BUILDINGS SURVEY

ARCHITECTURAL DATA FORM

STATE

Minnesota

COUNTY

Lake County

TOWN OR VICINITY

Silver Bay

HISTORIC NAME OF STRUCTURE

Cabin C

HABS NUMBER

SECONDARY OR COMMON NAMES OF STRUCTURE

Caretaker's Cabin

COMPLETE ADDRESS

Tettegouche Camp Historic District
Tettegouche State Park

DATE OF CONSTRUCTION

1953

ARCHITECT(S)

Architect, unknown
Edwin Nikula, Builder

SIGNIFICANCE

Retaining the essential features of its original design, Cabin C is a significantly contributing structure to the Tettegouche Camp, a privately built and sponsored recreational retreat started by the Tettegouche Club in 1910. The Camp remained in private ownership until 1977. Creation of the Tettegouche Camp coincided with the development of northern Minnesota's resort industry at the turn-of-the-century, and is an important representation of that vital industry. It also gains significance as an illustration of rustic log architecture which became popular in resort areas throughout the upper Midwest during the first half of the 20th Century.

STYLE

Rustic style

MATERIAL OF CONSTRUCTION

Construction consists of 10" diameter, saddle-notched, exterior log walls with caulk chinking; poured concrete pier foundations; and 3" to 4" diameter at 2'0" on center log roof rafters on 7 1/2" diameter log purlins, 5 1/2" diameter log ridge pole, and centered log truss.

SHAPE AND DIMENSIONS OF STRUCTURE

One story, rectangular plan, approximately 24'0" wide x 28'0", with 8'0" wide x 7'0" front porch and 12'0" wide x 7'0" side porch.

EXTERIOR FEATURES OF NOTE

Exterior features include decorative, chisel-pointed log crowns, purlins, and ridge pole; log and screen porches; shallow gable roof (4:12 slope) with charcoal-colored, composition roll roofing and 2 sheet metal flues; eight-over-eight and six-over-six light, double-hung windows; and vertical board cross-buck doors with decorative pegging. The exterior is painted yellow ochre.

INTERIOR FEATURES OF NOTE

Interior features include exposed log at exterior walls; knotty pine vertical board partitions; wood strip floor boards; and exposed, random width roof sheathing boards and roof framing. The interior is varnished.

MAJOR ALTERATIONS AND ADDITIONS WITH DATES

No major alterations and additions.

PRESENT CONDITION AND USE

Good condition.
Unoccupied.

SOURCES OF INFORMATION

Koop, Michael. National Register of Historic Places Registration Form. June, 1988.
MacDonald, Stuart. Interview with Maria Ostman. May 18, 1989.

COMPILER, AFFILIATION

Paula Merrigan
Stuart MacDonald
MacDonald and Mack Partnership

DATE

August, 1989

HISTORIC AMERICAN BUILDINGS SURVEY

ARCHITECTURAL DATA FORM

STATE

Minnesota

COUNTY

Lake County

TOWN OR VICINITY

Silver Bay

HISTORIC NAME OF STRUCTURE

Barn

HABS NUMBER

SECONDARY OR COMMON NAMES OF STRUCTURE

Barn

COMPLETE ADDRESS

Tettegouche Camp Historic District
Tettegouche State Park

DATE OF CONSTRUCTION

ca. 1895-1905

ARCHITECT(S)

Unknown

SIGNIFICANCE

Depicted on a ca. 1911 site map of Tettegouche Camp, the Barn was part of the Tettegouche Club's initial camp development. It is thought to have been moved in from the site of the Alger Smith and Company Logging Camp, formerly located on neighboring Nipisiquit Lake. Retaining the essential features of its original design, the Barn is a significantly contributing structure to the Tettegouche Camp, a privately built and sponsored recreational retreat started by the Tettegouche Club in 1910. The Camp remained in private ownership until 1977. Creation of the Tettegouche Camp coincided with the development of northern Minnesota's resort industry at the turn-of-the-century, and is an important representation of that vital industry.

STYLE

None

MATERIAL OF CONSTRUCTION

Construction consists of 8" to 10" diameter, saddle-notched, exterior log walls with mortar chinking; centered, log plate on 1x and 2x4 stud partition on sill log; 6" diameter at 2'0" on center second floor log joists; and 5 1/2" diameter log ridge pole and purlins (4) on one centered pair of 5" diameter log roof rafters.

SHAPE AND DIMENSIONS OF STRUCTURE

Two story, square plan, approximately 24'0" x 24'0".

EXTERIOR FEATURES OF NOTE

Exterior features include a gable roof (7:12 slope) with charcoal-color, composition roll roofing; horizontal board gable ends; double- and single-leaf, cross-buck barn doors of vertical and horizontal board construction; six light windows; and gable pigeon coop. The exterior is unfinished.

INTERIOR FEATURES OF NOTE

Interior features include exposed log walls; horizontal board partition sheathing; and plank and timber flooring. The lower level interior is whitewashed.

MAJOR ALTERATIONS AND ADDITIONS WITH DATES

Alterations include recent replacement of the loft ladder.

PRESENT CONDITION AND USE

Poor condition.

Used for miscellaneous storage.

SOURCES OF INFORMATION

Koop, Michael. National Register of Historic Places Registration Form. June, 1988.

Map of Teteagouche Club Camp. Ca. 1911. Minnesota Department of Natural Resources Files, Saint Paul, Minnesota.

COMPILER, AFFILIATION

Paula Merrigan

Stuart MacDonald

MacDonald and Mack Partnership

DATE

August, 1989

HISTORIC AMERICAN BUILDINGS SURVEY

ARCHITECTURAL DATA FORM

STATE

Minnesota

COUNTY

Lake County

TOWN OR VICINITY

Silver Bay

HISTORIC NAME OF STRUCTURE

Garage

HABS NUMBER

SECONDARY OR COMMON NAMES OF STRUCTURE

Garage

COMPLETE ADDRESS

Tettegouche Camp Historic District
Tettegouche State Park

DATE OF CONSTRUCTION

1925

ARCHITECT(S)

Unknown

SIGNIFICANCE

Retaining the essential features of its original design, the Garage is a significantly contributing structure to the Tettegouche Camp, a privately built and sponsored recreational retreat started by the Tettegouche Club in 1910. The Camp remained in private ownership until 1977. Creation of the Tettegouche Camp coincided with the development of northern Minnesota's resort industry at the turn-of-the-century, and is an important representation of that vital industry.

STYLE

None

MATERIAL OF CONSTRUCTION

Construction consists of 6" to 7" diameter perimeter log posts in the earth; miscellaneous 2x framing supporting vertical board sheathing; 6" diameter log ridge pole; and 4" diameter at 2'0" on center log roof rafters.

SHAPE AND DIMENSIONS OF STRUCTURE

One story, rectangular plan, approximately 26'6" wide x 20'3".

EXTERIOR FEATURES OF NOTE

Exterior features include three, double-leaf, vertical-log-sided, cross-buck garage doors at front; vertical log siding at sides; horizontal ship-lap boards at rear; and assymetrical gable roof (8:12 slope at front and 4:12 $\frac{1}{2}$ at rear) with charcoal-colored, composition roll roofing. The exterior is unfinished.

INTERIOR FEATURES OF NOTE

Interior features include exposed wall and roof framing and an earth floor.

MAJOR ALTERATIONS AND ADDITIONS WITH DATES

Alteration include the installation of supplemental roof framing and addition of a storage loft. Date unknown.

PRESENT CONDITION AND USE

Poor condition.
Used for miscellaneous minor storage.

SOURCES OF INFORMATION

Koop, Michael. National Register of Historic Places Registration Form.
June, 1988.

COMPILER, AFFILIATION

Paula Merrigan
Stuart MacDonald
MacDonald and Mack Partnership

DATE

August, 1989

HISTORIC AMERICAN BUILDINGS SURVEY

ARCHITECTURAL DATA FORM

STATE

Minnesota

COUNTY

Lake County

TOWN OR VICINITY

Silver Bay

HISTORIC NAME OF STRUCTURE

Outhouse

HABS NUMBER

SECONDARY OR COMMON NAMES OF STRUCTURE

Outhouse

COMPLETE ADDRESS

Tettegouche Camp Historic District
Tettegouche State Park

DATE OF CONSTRUCTION

1925

ARCHITECT(S)

Unknown

SIGNIFICANCE

Retaining the essential features of its original design, the Outhouse is a significantly contributing structure to the Tettegouche Camp; a privately built and sponsored recreational retreat started by the Tettegouche Club in 1910. The camp remained in private ownership until 1977. Creation of Tettegouche Camp coincided with the development of northern Minnesota's resort industry at the turn-of-the-century, and is an important representation of that vital industry. It also gains significance as an illustration of rustic log architecture which became popular in resort areas throughout the upper Midwest during the first half of the 20th Century.

STYLE

Adirondack style

MATERIAL OF CONSTRUCTION

Construction consists of 7" to 9" diameter, saddle-notched, exterior log walls with oakum chinking; wood blocking on grade foundations; and 3 1/2" diameter at 2'3" on center log rafters.

SHAPE AND DIMENSIONS OF STRUCTURE

One story, rectangular plan approximately 9'1" wide x 6'11".

EXTERIOR FEATURES OF NOTE

Exterior features include an asymmetric, wood-shingled gable roof (6:12 \pm slope at front and 4:12 at rear) which extends on corbeled log to form a door hood; wood ventilator; horizontal boards at gable ends; a 6 light, in-swinging, gable casement window; and a 4-panel wood door and log access panel hung with strap hinges bent to conform to log profiles. The exterior is unfinished.

INTERIOR FEATURES OF NOTE

Interior features include a "two-holer" and exposed log walls and roof framing. The interior is painted.

MAJOR ALTERATIONS AND ADDITIONS WITH DATES

Additions include indoor-outdoor carpeting.

PRESENT CONDITION AND USE

Fair condition.
Outhouse.

SOURCES OF INFORMATION

Koop, Michael. National Register of Historic Places Registration Form.
June, 1988

COMPILER, AFFILIATION

Paula Merrigan
Stuart MacDonald
MacDonald and Mack Partnership

DATE

August, 1989

HISTORIC AMERICAN BUILDINGS SURVEY

ARCHITECTURAL DATA FORM

STATE

Minnesota

COUNTY

Lake County

TOWN OR VICINITY

Silver Bay

HISTORIC NAME OF STRUCTURE

Filers' Shack

HABS NUMBER

SECONDARY OR COMMON NAMES OF STRUCTURE

Chicken Coop

COMPLETE ADDRESS

Tettegouche Camp Historic District

Tettegouche State Park

DATE OF CONSTRUCTION

ca. 1895-1905

ARCHITECT(S)

Unknown

SIGNIFICANCE

Depicted on a ca. 1911 site map of Tettegouche Camp, the Filers' Shack was part of the Tettegouche Club's initial camp development. It is thought to have been moved in from the site of the Alger Smith and Company Logging Camp formerly located on neighboring Nipisiquit Lake. Retaining the essential features of its original design, the Filers' Shack is a significantly contributing structure to the Tettegouche Camp, a privately built and sponsored recreational retreat started by the Tettegouche Club in 1910. The Camp remained in private ownership until 1977. Creation of the Tettegouche Camp coincided with the development of northern Minnesota's resort industry at the turn-of-the-century, and is an important representation of that vital industry. It also gains significance as it is believed to be the only remaining building of its type in the state.

STYLE

None

MATERIAL OF CONSTRUCTION

Construction consists of 14" diameter, shallow dove-tail-notched, exterior log walls; 4" diameter at 2'6" on center log rafters; and log attic floor joists.

SHAPE AND DIMENSIONS OF STRUCTURE

One story, square plan, approximately 16'0" x 16'0".

EXTERIOR FEATURES OF NOTE

Exterior features include a gable roof (9:12+ slope) with red composition roll roofing on board sheathing; 4 - six-over-six light single-hung windows; a small window or vent opening at rear gable; a wood vent at roof ridge; and mortar chinking. The exterior is unfinished.

INTERIOR FEATURES OF NOTE

Interior features include exposed log walls and wood floor boards at ground and attic levels. The interior is whitewashed.

MAJOR ALTERATIONS AND ADDITIONS WITH DATES

No major alteration and additions.

PRESENT CONDITION AND USE

Ruinous condition.
Abandoned.

SOURCES OF INFORMATION

Koop, Michael. National Register of Historic Places Registration Form. June, 1988
Map of Teteagouche Club Camp. Ca. 1911. Minnesota Department of Natural Resources, Saint Paul, Minnesota.

COMPILER, AFFILIATION

Paula Merrigan
Stuart MacDonald
MacDonald and Mack Partnership

DATE

August, 1989



APPENDIX F:
LEVEL IV
HABS DOCUMENTATION

HABS/HAER INVENTORY

See "HABS/HAER Inventory Guidelines" before filling out this card.

1. NAME(S) OF STRUCTURE

Boat Shelter

2. LOCATION

Tettegouche Camp Historic District
Tettegouche State Park
Lake County, Minnesota

3. DATE(S) OF CONSTRUCTION

Ca. 1911

4. USE (ORIGINAL/CURRENT)

Boat Shelter

5. RATING

Contributing Building

6. CONDITION

Fair - Poor

Located on Mic Mac Lake. "Adirondack" style. Open, rectangular plan pavilion, approximately 7'3" x 21'5", flanked by docks, approximately 4'3" x 31'5" (east) and 4'3" x 34'8" (west). Unfinished. Log construction consisting of 2 rows each of 4 - 6" diameter log posts bearing on lake bottom. Squared 4½" x 5½" log rafter plates. 3" to 3½" diameter log roof rafters at approximately 2'6" on center with ridge board and exposed, flattened rafter tails. Gable ends closed with log siding on log studs and 6½" diameter log beam. Beams, rafter plates, and log posts notched to receive 2½" to 3½" diameter diagonal log braces. Decorative bent log brackets at 4 corners (1 bracket missing). Gable roof (9:12 slope ±) with charcoal-color composition roll roofing (replacement) on random width board sheathing. Each dock (replacements) consists of paired, 15" diameter, horizontal logs on submerged wood cribbing and 5" diameter log posts extending 3'0" above 2x10 plank decking.

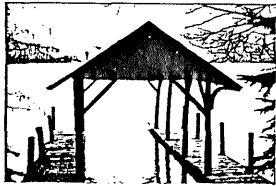
Depicted on an early site map of Tettegouche Camp, the Boat Shelter was built ca. 1911 as part of the Tettegouche Club's initial Camp construction.

Retaining the essential features of its original design, the Boat Shelter is a significantly contributing structure to the Tettegouche Camp, a privately built and sponsored recreational retreat started by the Tettegouche Club in 1910. The Camp remained in private ownership until 1977. Creation of Tettegouche Camp coincided with the development of northern Minnesota's resort industry at the turn-of-the-century, and is an important representation of that vital industry. It also gains significance as an illustration of rustic log architecture which became popular in resort areas throughout the upper Midwest during the first half of the 20th Century.

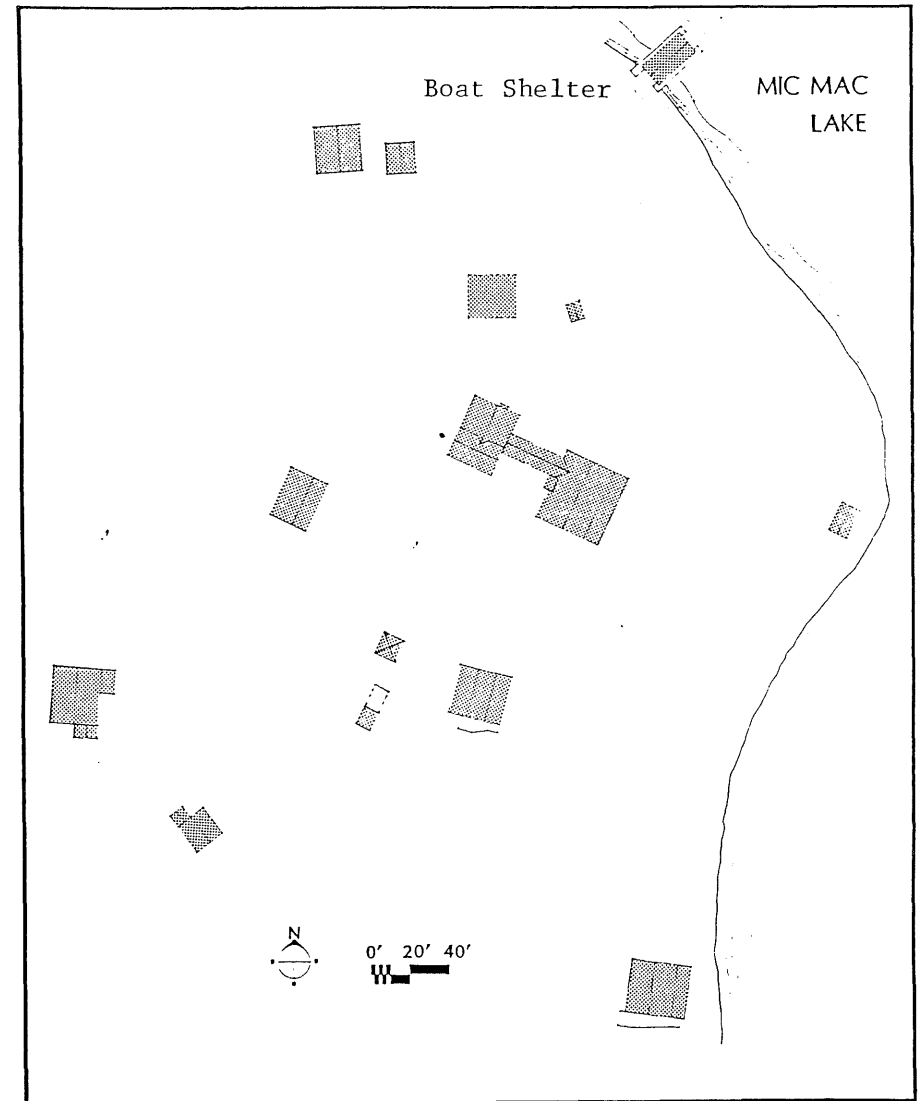
10. NAME(S) OF STRUCTURE

Boat Shelter

11. PHOTOS (W/ FILM ROLL & FRAME NO.) AND SKETCH MAP OF LOCATION



Roll Number: 6
Frame Number: 31
View Looking Northeast



Koop, Michael. National Register of Historic Places
Registration Form. June, 1988.
Map of Teteagouche Club Camp. Ca. 1911. Minnesota
Department of Natural Resources Files, Saint Paul,
Minnesota.

13. INVENTORIED BY:

Paula Merrigan, Stuart MacDonald

AFFILIATION

MacDonald and Mack Partnership

DATE

August, 1989

HABS/HAER INVENTORY

See "HABS/HAER Inventory Guidelines" before filling out this card.

1. NAME(S) OF STRUCTURE

Root Cellar

2. LOCATION

Tettegouche Camp Historic District
Tettegouche State Park
Lake County, Minnesota

3. DATE(S) OF CONSTRUCTION

Ca. 1911

4. USE (ORIGINAL/CURRENT)

Root Cellar/Miscellaneous Storage

5. RATING

Contributing Building

6. CONDITION

Poor

Rectangular plan, approximately 12'0" wide x 11'8" deep, with access via a vestibule 3'6" wide x 5'2" deep. Maximum interior height 6'8" at center. Exposed stone and concrete interior walls and concrete floors. Earth-covered, shallow gable, poured concrete roof structure with integral railroad rail beams. Earth cover retaining wall is 4 horizontal logs high on all 4 sides, rectangular plan, approximately 22'0" x 24'0". Vent at roof. Exterior and vestibule doors of horizontal and vertical boards with plank frames. Massive 1'4" high x 2'1" deep x 8'0" wide concrete lintel at exterior door opening.

Depicted on an early site map of Tettegouche Camp, the Root Cellar was built ca. 1911 as part of the Tettegouche Club's initial Camp construction.

Retaining the essential features of its original design, the Root Cellar is a significantly contributing structure to the Tettegouche Camp, a privately built and sponsored recreational retreat started by the Tettegouche Club in 1910. The Camp remained in private ownership until 1977. Creation of Tettegouche Camp coincided with the development of northern Minnesota's resort industry at the turn-of-the-century, and is an important representation of that vital industry.

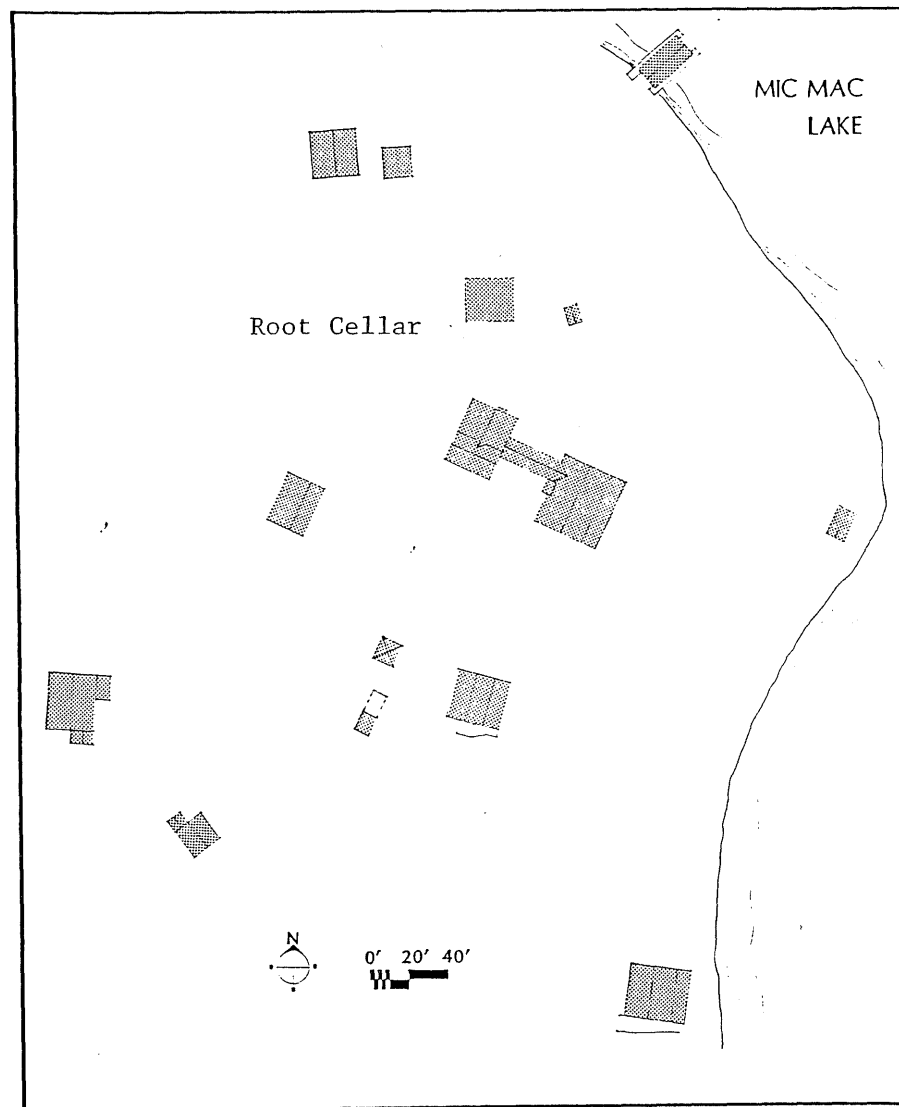
10. NAME(S) OF STRUCTURE

Root Cellar

11. PHOTOS (W/ FILM ROLL & FRAME NO.) AND SKETCH MAP OF LOCATION



Roll Number: 6
Frame Number: 34
View Looking Southwest



Koop, Michael. National Register of Historic Places
Registration Form. June, 1988.
Map of Teteagouche Club Camp. Ca. 1911. Minnesota
Department of Natural Resources Files, Saint Paul,
Minnesota.

13. INVENTORIED BY:

Paula Merrigan, Stuart MacDonald

AFFILIATION

MacDonald and Mack Partnership

DATE

August, 1989

HABS/HAER INVENTORY

See "HABS/HAER Inventory Guidelines" before filling out this card.

1. NAME(S) OF STRUCTURE

Sauna

2. LOCATION

Tettegouche Camp Historic District
Tettegouche State Park
Lake County, Minnesota

3. DATE(S) OF CONSTRUCTION

1972

4. USE (ORIGINAL/CURRENT)

Sauna

5. RATING

Non-Contributing Building

6. CONDITION

Good

Located along the shore of Mic Mac Lake. One story. Rectangular plan, approximately 10'0" x 16'0". Concrete pad and concrete block on grade foundations. Wood frame construction clad with unfinished, horizontal log siding. Gable roof (6.5:12 ± slope) with charcoal-color composition shingles and plywood soffits. Sheet metal flue. Single hollow core exterior door at entrance with 3-riser, wood plank entry platform. 6 glass light, in-swinging casement sash. Two room interior divided by wood frame partition with hollow core door and fixed, 6 glass light sash. Wood strip flooring, vertical board walls, and sheet metal clad ceilings. L-shaped bench at dressing room and 2-tier bench and stove at sauna room.

According to State Park Manager Foster Hudson, the Sauna was constructed in 1972 by Gary Thompson, a local carpenter. The property then was owned by John deLaittre.

The Sauna is not a part of the significant historical fabric of Tettegouche Camp and lacks "exceptional significance," which is necessary to establish National Register eligibility for structures less than 50 years old. It is, therefore, a non-contributing building. Since its appearance and function harmonize with the rustic character of the Camp, the structure should not be considered an intrusive element.

7. DESCRIPTION

8. HISTORICAL DATA

9. SIGNIFICANCE

10. NAME(S) OF STRUCTURE

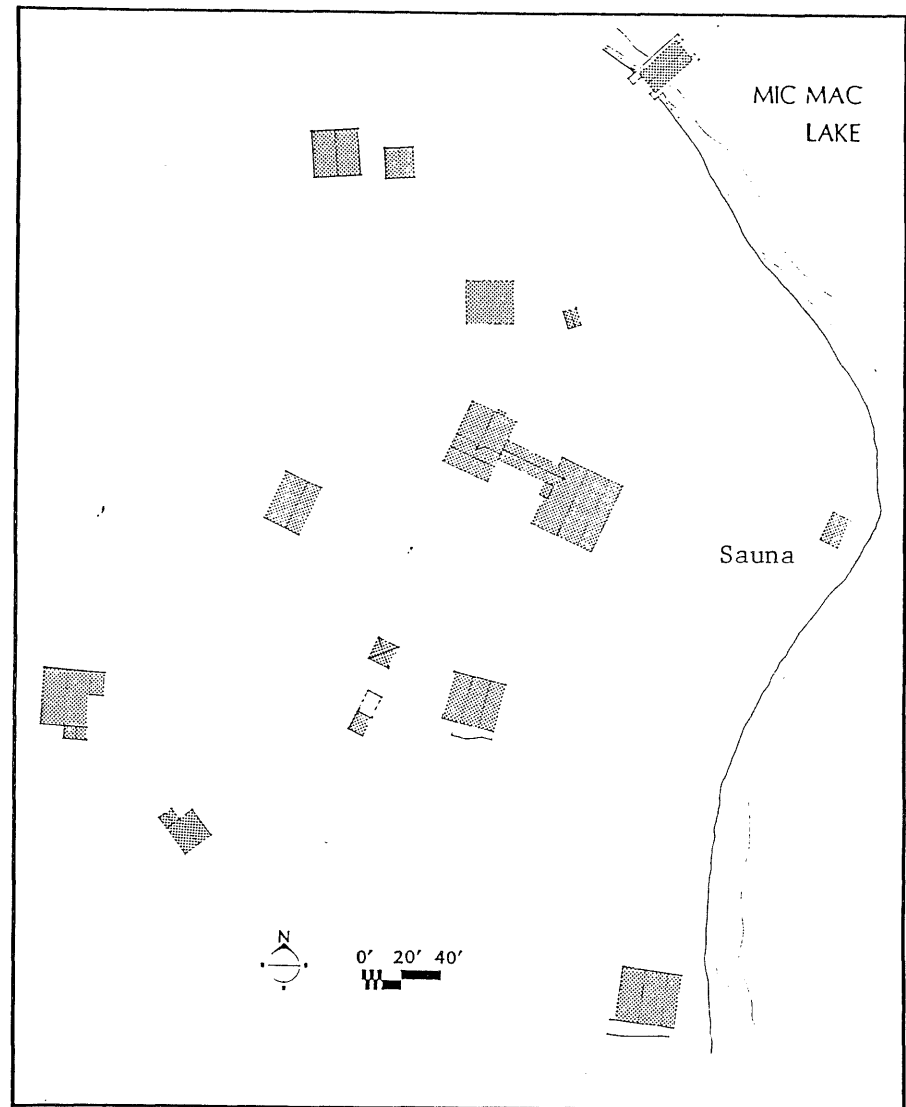
Sauna

11. PHOTOS (W/ FILM ROLL & FRAME NO.) AND SKETCH MAP OF LOCATION



Roll Number: 6
Frame Number: 24
View Looking East

Koop, Michael. National Register of Historic Places
Registration Form. June, 1988.



12. SOURCES

13. INVENTORIED BY:

Paula Merrigan, Stuart MacDonald

AFFILIATION

MacDonald and Mack Partnership

DATE

August, 1989

HABS/HAER INVENTORY

See "HABS/HAER Inventory Guidelines" before filling out this card.

1. NAME(S) OF STRUCTURE

Cabin D

2. LOCATION

Tettegouche Camp Historic District
Tettegouche State Park
Lake County, Minnesota

3. DATE(S) OF CONSTRUCTION

Ca. 1960

4. USE (ORIGINAL/CURRENT)

Caretaker's Cabin/Office

5. RATING

Non-Contributing Building

6. CONDITION

Good

One story. Square plan, approximately 16'3" x 16'3", with 7'1" x 8'4" screened porch. Wood frame construction with painted, 6" horizontal log siding. Gable roof (4:12 ± slope) with charcoal-color composition roll roofing on random width board sheathing and 2x4 rafters at 16" on center. Exposed rafter tails. 5-panel exterior door with 2 glass lights and hollow core interior doors. 2-over-2 glass light, double-hung windows. At interior, carpeted floor (addition), vertical board walls, 12" x 12" acoustic tile ceilings, 3/4 bath, and walk-in closet.

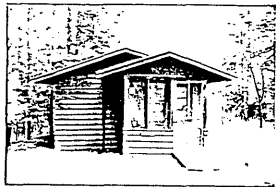
According to the National Register of Historic Places Registration Form, Cabin D was built ca. 1960 when the property was owned by Clement K. Quinn. Originally a sleeping cabin, it recently has been used as an office.

Cabin D is not a part of the significant historical fabric of Tettegouche Camp and lacks "exceptional significance," which is necessary to establish National Register eligibility for structures less than 50 years old. It is, therefore, a non-contributing building. Since its appearance and function harmonize with the rustic character of the Camp, the structure should not be considered an intrusive element.

10. NAME(S) OF STRUCTURE

Cabin D

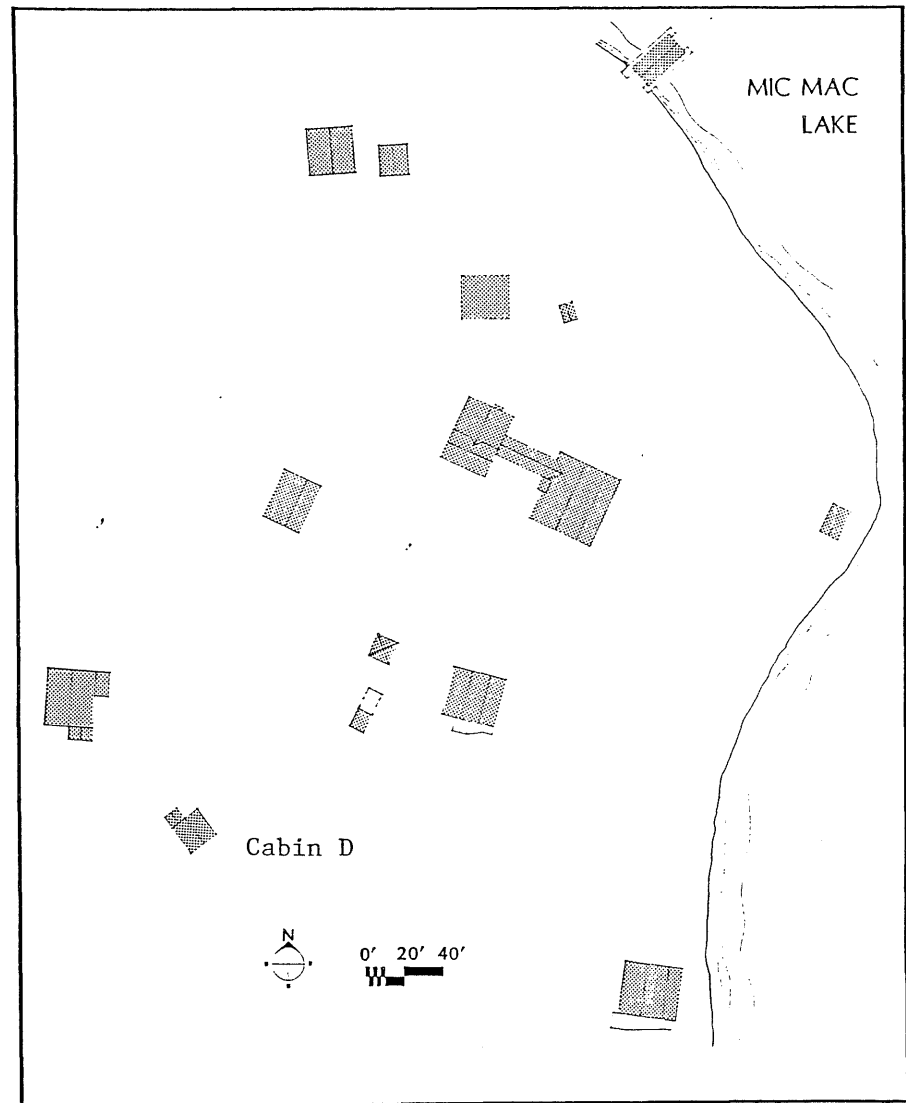
11. PHOTOS (W/ FILM ROLL & FRAME NO.) AND SKETCH MAP OF LOCATION



Roll Number: 6

Frame Number: 7

View Looking Southeast



Koop, Michael. National Register of Historic Places
Registration Form. June, 1988.

12. SOURCES

13. INVENTORIED BY:

Paula Merrigan, Stuart MacDonald

AFFILIATION

MacDonald and Mack Partnership

DATE

August, 1989

HABS/HAER INVENTORY

See "HABS/HAER Inventory Guidelines" before filling out this card.

1. NAME(S) OF STRUCTURE

Bath House

2. LOCATION

Tettegouche Camp Historic District
Tettegouche State Park
Lake County, Minnesota

3. DATE(S) OF CONSTRUCTION

Ca. 1950

4. USE (ORIGINAL/CURRENT)

Bath House

5. RATING

Non-Contributing Building

6. CONDITION

Fair

One story. Rectangular plan, approximately 10'0" x 12'0". 2x4 wood frame construction clad with unfinished horizontal log siding. Hip roof (4:12 ± slope) with charcoal-color composition roll roofing on 8" sheathing boards and 2x4 rafters at 2'0' on center. Exposed rafter tails reinforced with 2x4 diagonal braces. Log siding cross-buck exterior door and 2 riser, 2x6 plank, 4'0" x 8'0" entry platform. Six-by-six glass light sliding sash windows. Two room interior divided by horizontal board-on-frame partition with vertical board cross-buck door. Indoor-outdoor carpet (addition) on wood flooring, horizontal board walls, and board ceiling at shower room. 2 lavatories, mirror, bench, and clothes hooks at dressing room and 2 shower stalls, water heater, and bench at shower room. Interior painted.

According to the National Register of Historic Places Registration Form, the Bath House was built ca. 1950 when the property was owned by Clement K. Quinn.

The Bath House is not a part of the significant historical fabric of Tettegouche Camp and lacks "exceptional significance," which is necessary to establish National Register eligibility for structures less than 50 years old. It is, therefore, a non-contributing building. Since its appearance and function harmonize with the rustic character of the Camp, the structure should not be considered an intrusive element.

10. NAME(S) OF STRUCTURE

Bath House

11. PHOTOS (W/ FILM ROLL & FRAME NO.) AND SKETCH MAP OF LOCATION

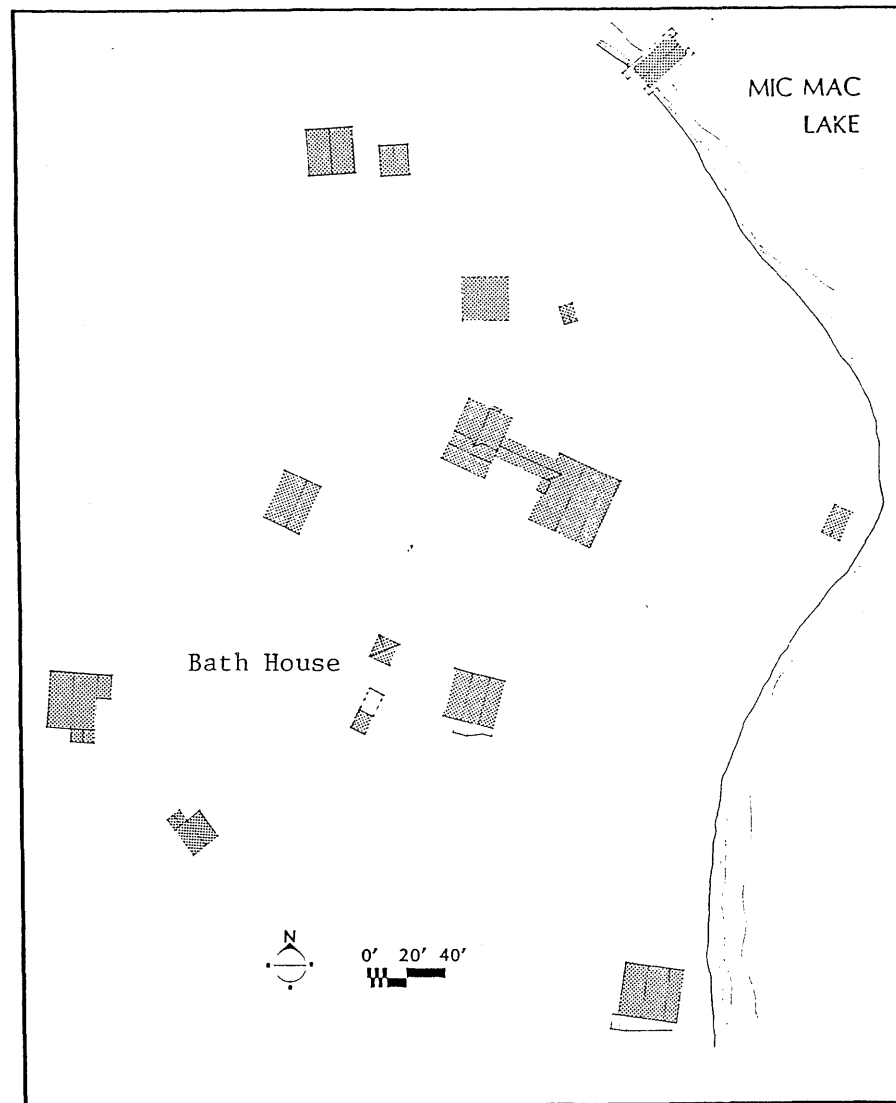


Roll Number: 6

Frame Number: 15

View Looking Northeast

Koop, Michael. National Register of Historic Places
Registration Form. June, 1988.



13. INVENTORIED BY:

Paula Merrigan, Stuart MacDonald

AFFILIATION

MacDonald and Mack Partnership

DATE

August, 1989

HABS/HAER INVENTORY

See "HABS/HAER Inventory Guidelines" before filling out this card.

1. NAME(S) OF STRUCTURE

Dog House

2. LOCATION

Tettegouche Camp Historic District
Tettegouche State Park
Lake County, Minnesota

3. DATE(S) OF CONSTRUCTION

Ca. 1950

4. USE (ORIGINAL/CURRENT)

Dog House/Workshop

5. RATING

Non-Contributing Building

6. CONDITION

Fair

One story. Rectangular plan, approximately 8'1" x 9'0", with 8'1" x 12'0" exterior fenced pen. 2x4 stud frame construction clad with 6" log siding on horizontal sheathing boards. Shed roof (2:12 ± slope) with charcoal-color composition roll roofing on 7" board sheathing and 2x4 roof rafters. Log siding and vertical board door. 6 glass light awning window. Kennel door to pen. At interior, 7" wood floor boards, exposed wall and roof framing, work counter, and shelving. Unfinished, inside and out. 3'4" high, steel angle and wire mesh pen fencing.

According to the National Register of Historic Places Registration Form, the Dog House was built ca. 1950 by Clement K. Quinn to house his sled dogs. Quinn hauled supplies to the remote Camp during snow-bound winter months.

The Dog House is not a part of the significant historical fabric of Tettegouche Camp and lacks "exceptional significance," which is necessary to establish National Register eligibility for structures less than 50 years old. It is, therefore, a non-contributing building. Since its appearance and function harmonize with the rustic character of the Camp, the structure should not be considered an intrusive element.

10. NAME(S) OF STRUCTURE

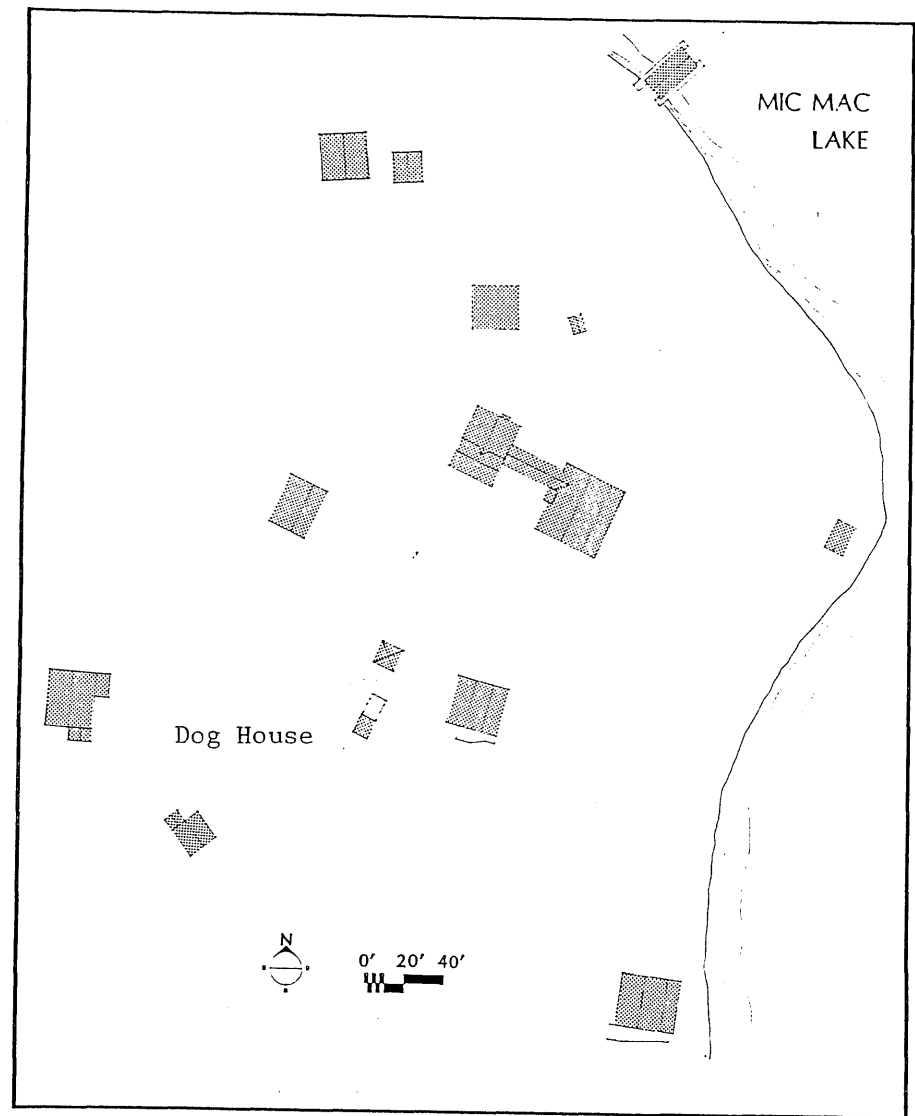
Dog House

11. PHOTOS (W/ FILM ROLL & FRAME NO.) AND SKETCH MAP OF LOCATION



Roll Number: 6
Frame Number: 13
View Looking Southwest

Koop, Michael. National Register of Historic Places
Registration Form. June, 1988.



13. INVENTORIED BY:

Paula Merrigan, Stuart MacDonald

AFFILIATION

MacDonald and Mack Partnership

DATE

August, 1989

